



City of Industry Property and Housing Management Authority

REGULAR MEETING AGENDA
FEBRUARY 12, 2025
10:30 a.m.

Chair Ken Calvo
Vice Chair Tim Seal
Board Member Jim Bickel
Board Member Phil Cook
Board Member Timothy O'Gorman

Location: City Council Chambers, 15651 Mayor Dave Way, City of Industry, California

Addressing the Authority:

- < **Agenda Items:** Members of the public may address the Authority on any matter listed on the Agenda. In order to conduct a timely meeting, there will be a one-minute time limit per person for any matter listed on the Agenda. Anyone wishing to speak to the Authority is asked to complete a Speaker's Card which can be found at the back of the room and at each podium. The completed card should be submitted to the City Clerk prior to the Agenda item being called and prior to the individual being heard by the Authority.
- < **Public Comments (Non-Agenda Items):** Anyone wishing to address the Authority on an item not on the Agenda may do so during the "Public Comments" period. In order to conduct a timely meeting, there will be a one-minute time limit per person for the Public Comments portion of the Agenda. State law prohibits the Authority from taking action on a specific item unless it appears on the posted Agenda. Anyone wishing to speak to the Authority is asked to complete a Speaker's Card which can be found at the back of the room and at each podium. The completed card should be submitted to the City Clerk prior to the Agenda item being called by the City Clerk and prior to the individual being heard by the Authority.

At the time of publication, no Board Members intend to take part in the meeting remotely under the provisions of AB 2449. Should that change between the time of publication and the start of the meeting, a live webcasting of the meeting will be accessible via the link, meeting ID, and meeting passcode listed below. Whenever possible, an announcement will be made at the start of the meeting via the live webcast to confirm whether or not a Board Member will join remotely. If they will not be joining remotely, then the live webcast will terminate after the announcement.

www.microsoft.com/microsoft-teams/join-a-meeting

Meeting ID: 248 488 003 898

Passcode: ym9at3sS

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

+1 657-204-3264 United States

Phone Conference ID: 528 730 572#

Americans with Disabilities Act:

- < In compliance with the ADA, if you need special assistance to participate in any City meeting (including assisted listening devices), please contact the City Clerk's Office (626) 333-2211. Notification of at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting.

Agendas and other writings:

< In compliance with SB 343, staff reports and other public records permissible for disclosure related to open session agenda items are available at City Hall, 15625 Mayor Dave Way, Suite 100, City of Industry, California, at the office of the City Clerk during regular business hours, Monday through Thursday 8:00 a.m. to 5:00 p.m., Friday 8:00 a.m. to 4:00 p.m. Any person with a question concerning any agenda item may call the City Clerk's Office at (626) 333-2211.

1. Call to Order
2. Flag Salute
3. AB 2449 Vote on Emergency Circumstances (if necessary)
4. Roll Call
5. Presentations
6. **CONSENT CALENDAR**

6.1 Consideration of the Register of Demands for February 12, 2025

RECOMMENDED ACTION: Approve the Register of Demands.

7. **ACTION ITEMS**

7.1 Consideration of authorization to advertise for public bids for Contract No. IPHMA-006, Various Roof Replacements and Repairs, for an estimated cost of \$360,000.00 (MP 12-06 #27)

RECOMMENDED ACTION: It is hereby recommended that the Authority approve the plans and specifications and authorize the solicitation of public bids.

8. **PUBLIC HEARINGS- NONE**

9. **CLOSED SESSION**

9.1 CONFERENCE WITH REAL PROPERTY NEGOTIATORS
Pursuant to Government Code Section 54956.8:

Property:	145 Vineland Ave, City of Industry
Agency Negotiators:	Joshua Nelson, Executive Director James M. Casso, General Counsel
Negotiating Parties:	SZ 125 Properties, LLC
Under Negotiation:	Price and terms of payment

10. **EXECUTIVE DIRECTOR REPORTS**
11. **AB 1234 REPORTS**
12. **BOARD MEMBER COMMUNICATIONS**
13. **PUBLIC COMMENTS**
14. Adjournment. Next regular meeting: Wednesday, March 12, 2025, at 10:30 a.m.

*CITY OF INDUSTRY PROPERTY AND HOUSING
MANAGEMENT AUTHORITY*

ITEM NO. 6.1

INDUSTRY PROPERTY & HOUSING MANAGEMENT AUTHORITY

AUTHORIZATION FOR PAYMENT OF BILLS

Board Meeting February 12, 2025

<u>FUND</u>	<u>DESCRIPTION</u>	<u>DISBURSEMENTS</u>
124	IPHMA - CAPITAL IMPROVEMENT	56,915.60
160	INDUSTRY PROPERTY & HOUSING	62,651.06
TOTAL ALL FUNDS		119,566.66

<u>BANK</u>	<u>DESCRIPTION</u>	<u>DISBURSEMENTS</u>
IPHMA.WF.CHK	WELLS FARGO CHECKING	119,566.66
TOTAL ALL BANKS		119,566.66

APPROVED PER EXECUTIVE DIRECTOR

Joshua Nelson

DATE

02/06/25

**Industry Property and Housing Management Authority
Board Meeting
February 12, 2025**

Check	Date	Payee Name		Check Amount
IPHMA.WF.CHK - IPHMA Wells Fargo Checking				
200761	01/15/2025	INDUSTRY PUBLIC UTILITIES		\$2,325.36
	Invoice	Date	Description	Amount
	2025-00001104	01/01/2025	10/16-12/16/24 SVC-14063 PROCTOR	\$129.94
	2025-00001105	01/01/2025	10/16-12/16/24 SVC-16200 TEMPLE CONDOS A & B	\$408.62
	2025-00001106	01/01/2025	10/16-12/16/24 SVC-16200 TEMPLE CONDOS C & D	\$356.68
	2025-00001107	01/01/2025	10/16-12/16/24 SVC-16212 TEMPLE	\$268.95
	2025-00001108	01/01/2025	10/16-12/16/24 SVC-16217 TEMPLE	\$129.04
	2025-00001109	01/01/2025	10/16-12/16/24 SVC-16218 TEMPLE	\$257.77
	2025-00001110	01/01/2025	10/16-12/16/24 SVC-16220 TEMPLE	\$114.52
	2025-00001111	01/01/2025	10/16-12/16/24 SVC-16224 TEMPLE	\$159.33
	2025-00001112	01/01/2025	10/16-12/16/24 SVC-16227 TEMPLE	\$107.26
	2025-00001113	01/01/2025	10/16-12/16/24 SVC-16229 TEMPLE	\$121.78
	2025-00001114	01/01/2025	10/16-12/16/24 SVC-16238 TEMPLE	\$133.92
	2025-00001115	01/01/2025	10/16-12/16/24 SVC-16242 TEMPLE	\$137.55
200762	01/15/2025	SOCALGAS		\$28.99
	Invoice	Date	Description	Amount
	2025-00001103	01/07/2025	12/4-1/4/25 SVC-16200 TEMPLE APT 202 BUNKHOUSE	\$28.99
200763	01/22/2025	SOUTHERN CALIFORNIA EDISON		\$17.15
	Invoice	Date	Description	Amount
	2025-00001154	01/11/2025	12/11-1/10/25 SVC-20137 E WALNUT DR. S	\$17.15
200764	01/29/2025	WALNUT VALLEY WATER DISTRICT		\$75.58
	Invoice	Date	Description	Amount
	5210320	01/13/2025	12/1-12/31/24 SVC-22002 VALLEY BLVD	\$39.64
	5214766	01/15/2025	12/3-1/2/25 SVC-20137 WALNUT DR	\$35.94

**Industry Property and Housing Management Authority
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February 12, 2025**

Check	Date			Payee Name	Check Amount
IPHMA.WF.CHK - IPHMA Wells Fargo Checking					
200765	02/05/2025			INDUSTRY PUBLIC UTILITIES	\$218.27
	Invoice	Date	Description	Amount	
	2025-00001292	01/01/2025	10/16-12/16/24 SVC-16200 TEMPLE BUNKHOUSE	\$218.27	
200766	02/05/2025			ROWLAND WATER DISTRICT	\$348.23
	Invoice	Date	Description	Amount	
	2025-00001284	01/29/2025	12/8-1/7/25 SVC-17217 & 17229 CHESTNUT - IRR	\$69.03	
	2025-00001285	01/29/2025	12/8-1/7/25 SVC-17217 CHESTNUT ST	\$109.00	
	2025-00001286	01/29/2025	12/8-1/7/25 SVC-17229 CHESTNUT ST	\$170.20	
200767	02/12/2025			B2 PRINT, LLC	\$404.20
	Invoice	Date	Description	Amount	
	0013149	01/27/2025	IPHMA LASER CHECKS	\$404.20	
200768	02/12/2025			CNC ENGINEERING	\$5,742.50
	Invoice	Date	Description	Amount	
	511841	01/23/2025	GENERAL ENGINEERING_14063 PROCTOR AVE	\$800.00	
	511842	01/23/2025	GENERAL ENGINEERING_16220 E. TEMPLE AVENUE	\$200.00	
	511843	01/23/2025	GENERAL ENGINEERING_15722 NELSON AVENUE	\$625.00	
	511844	01/23/2025	GENERAL ENGINEERING_15652 NELSON AVENUE	\$200.00	
	511845	01/23/2025	GENERAL ENGINEERING_16212 TEMPLE AVENUE	\$356.25	
	511846	01/23/2025	GENERAL ENGINEERING_15702 NELSON AVENUE	\$325.00	
	511847	01/23/2025	GENERAL ENGINEERING_16224 E. TEMPLE AVENUE	\$100.00	
	511848	01/23/2025	GENERAL ENGINEERING_16238 E. TEMPLE AVENUE	\$100.00	
	511849	01/23/2025	GENERAL ENGINEERING_16217 E. TEMPLE AVENUE	\$100.00	
	511850	01/23/2025	GENERAL ENGINEERING_GENERAL ENGINEERING	\$2,131.25	

**Industry Property and Housing Management Authority
Board Meeting
February 12, 2025**

Check	Date		Payee Name	Check Amount
IPHMA.WF.CHK - IPHMA Wells Fargo Checking				
	511851	01/23/2025	MISCELLANEOUS HOUSING CAPITAL IMPROVEMENTS	\$805.00
200769	02/12/2025		DSRM CABLE CONSTRUCTION INC	\$56,110.60
	Invoice	Date	Description	Amount
	#1IPHMA-008	02/01/2025	MISC DRAINAGE ISSUES-INDUSTRY HILLS	\$56,110.60
200770	02/12/2025		IPHMA - PAYROLL ACCOUNT	\$2,500.00
	Invoice	Date	Description	Amount
	JAN-25	01/27/2025	REPLENISH PAYROLL ACCT FOR JANUARY 2025	\$2,500.00
200771	02/12/2025		IRRI-CARE PLUMBING & BACKFLOW T	\$55.00
	Invoice	Date	Description	Amount
	17166	01/08/2025	BACKFLOW MAINT SVC-IPHMA	\$55.00
200772	02/12/2025		JANUS PEST MANAGEMENT	\$3,390.00
	Invoice	Date	Description	Amount
	279935	01/13/2025	MONTHLY RESIDENTIAL PEST REMEDIATION	\$3,390.00
200773	02/12/2025		KLINE'S PLUMBING, INC.	\$425.00
	Invoice	Date	Description	Amount
	13944	01/16/2025	PLUMBING MAINT SVC-16220 TEMPLE	\$425.00
200774	02/12/2025		L A COUNTY TAX COLLECTOR	\$2,811.51
	Invoice	Date	Description	Amount
	8940149068	01/23/2025	SUPP PROP TAX FY 24/25-16000 TEMPLE AVE #C	\$105.74
	8940149042A	12/26/2024	ADJ PROP TAX FY 24/25-16000 TEMPLE AVE UNIT A	\$1,987.73
	8940149020S	12/19/2024	SUPP PROP TAX FY 24/25-16238 TEMPLE AVE	\$99.52

**Industry Property and Housing Management Authority
Board Meeting
February 12, 2025**

Check	Date		Payee Name	Check Amount
IPHMA.WF.CHK - IPHMA Wells Fargo Checking				
	8940149031S	12/19/2024	SUPP PROP TAX FY 23/24-14063 PROCTOR AVE	\$131.14
	8940149031S1	12/19/2024	SUPP PROP TAX FY 24/25-14063 PROCTOR AVE	\$101.39
	8940149056S	12/19/2024	SUPP PROP TAX FY 24/25-16220 TEMPLE AVE	\$62.83
	8940149056S1	12/19/2024	SUPP PROP TAX FY 24/25-16220 TEMPLE AVE	\$37.33
	8940149020S1	12/19/2024	SUPP PROP TAX FY 24/25-16238 TEMPLE AVE	\$126.48
	8940149057S	01/02/2025	SUPP PROP TAX FY 24/25-15736 NELSON AVE	\$34.44
	8940149058S	01/02/2025	SUPP PROP TAX FY 24/25-16000 TEMPLE AVE #D	\$124.91
200775	02/12/2025		MORTISE & TENON BUILDING CORP	\$17,299.26
	Invoice	Date	Description	Amount
	144	01/09/2025	HANDYMAN MAINT SVC-15652 NELSON AVE	\$279.50
	146	01/15/2025	SITE IMPROVEMENTS-UPSTAIRS PORTION BUNKHOU:	\$4,500.00
	150	01/16/2025	HANDYMAN MAINT SVC-15722 NELSON	\$497.15
	158	01/16/2025	HANDYMAN MAINT SVC-16229 TEMPLE	\$257.64
	168	01/28/2025	REPAIR TERMITE ROTTEN WOOD ON ROOF @16212 T	\$11,764.97
200776	02/12/2025		SATSUMA LANDSCAPE & MAINT.	\$26,120.01
	Invoice	Date	Description	Amount
	0125EHNHCS	01/17/2025	12/16-1/12/25-LANSCAPE MAINT SVC	\$26,120.01
200777	02/12/2025		TEMP AIR SYSTEM INC.	\$1,695.00
	Invoice	Date	Description	Amount
	20761	01/02/2025	BOILER REPAIR/DIAGNOSTIC SVC-15702 NELSON	\$1,695.00

Industry Property and Housing Management Authority
Board Meeting
February 12, 2025

Check	Date	Payee Name	Check Amount
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IPHMA.WF.CHK - IPHMA Wells Fargo Checking

Checks	Status	Count	Transaction Amount
	Total	17	\$119,566.66

*CITY OF INDUSTRY PROPERTY AND HOUSING
MANAGEMENT AUTHORITY*

ITEM NO. 7.1



INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY

MEMORANDUM

TO: Honorable Chair Calvo and Members of the Industry Property and Housing Management Authority

FROM: Joshua Nelson, Executive Director

STAFF: Mathew Hudson, Director of Public Works
James Cramsie, Sr. Director of Engineering, CNC Engineering
Arlene Lopez, Senior Project Manager, CNC Engineering

DATE: February 12, 2025

SUBJECT: Consideration of authorization to advertise for public bids for Contract No. IPHMA-006, Various Roof Replacements and Repairs, for an estimated cost of \$360,000.00 (MP 12-06 #27)

Background:

In August 2021, roof inspections were performed on each of the homes managed by IPHMA. Of the 23 homes, 14 locations required minor repairs with no roof replacements and 9 required both roof replacements and repairs. The minor repairs for the 14 homes were completed in June 2023 under negotiated contract IPHMA-009. Staff have prepared plans and specifications for the remaining nine locations that require both roof replacements and repairs. This project will be implemented as Contract No. IPHMA-006, subject to approval by the Authority.

Discussion:

The scope of work for this project involves the removal and replacement of asphalt shingle roof systems and related flashings at steep-sloped roof sections with new asphalt shingles and flashing, the removal and replacement of built-up roof systems covering low-sloped roof sections with new 60-mil fully adhered PVC single ply membrane systems and related flashings, and the completion of repairs and maintenance measures to existing roof systems, flashings, and accessories. The intent is to return the existing asphalt shingle and built-up/modified bitumen roof systems back to a maintainable and watertight condition for a standard service life.

The locations included are:

1. 16000 Temple Avenue, Bunkhouse
2. 16212 Temple Avenue
3. 16229 Temple Avenue
4. 16227 Temple Avenue
5. 16238 Temple Avenue
6. 15736 E. Nelson Avenue
7. 15714 E. Nelson Avenue
8. 15652 E. Nelson Avenue
9. 14063 E. Proctor Avenue

Fiscal Impact:

The estimated cost for this project is \$360,000.00.

Recommendation:

It is hereby recommended that the Authority approve the plans and specifications and authorize the solicitation of public bids.

Exhibits:

- A. Notice Inviting Bids
- B. Engineer's Estimate
- C. Section A – Pages A-1 through A-8
- D. Reduced Set of Project Plans

JN/MH/JC/AL:jf

EXHIBIT A

Notice Inviting Bids

[Attached]

FOR PUBLICATION

NOTICE INVITING BIDS FOR:

**INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY
PROJECT NO. 006**

VARIOUS ROOF REPLACEMENTS AND REPAIRS

CONTRACT NO. IPHMA-0006

The **INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY**, hereinafter referred to as the **IPHMA**, will receive bids for the construction of the above project until **10:00 A.M.** on **Wednesday, March 19, 2025**, via the City of Industry's PlanetBids™ vendor portal. Bids are to be submitted through <https://www.planetbids.com/portal/portal.cfm?CompanyID=29042>.

Postmarks, mailed, emailed, or hard copy bids will not be accepted. Late bids will not be accepted.

It is the responsibility of the bidder to be sure the bid is submitted prior to the date and time indicated above. Free digital versions of the plans and specifications are available on the vendor portal. Hard copies are no longer available for purchase.

At the time of submission of the bid and thereafter, each bidder must be licensed as a **Class C-39 - Roofing Contractor OR Class B – General Building Contractor with a Subcontractor licensed as a Class C-39 – Roofing Contractor** as defined in Sections 7055-7058 of the Business and Professions Code. Each bidder shall set forth on the Bidder's Information Sheet and the Contractor's License Affidavit the classification and number of the requisite license which that bidder holds.

The **IPHMA** reserves the right to award the contract to the contractor with another license class if the **IPHMA** determines that the license class is proper for the proposed work.

A contractor or subcontractor shall not be qualified to bid on, be listed in a bid proposal, subject to the requirements of Section 4104 of the Public Contract Code, or engage in the performance of any contract for public work, as defined in this chapter, unless currently registered and qualified to perform public work pursuant to Section 1725.5. **Please note:** *It is not a violation of this section for an unregistered contractor to submit a bid that is authorized by Section 7029.1 of the Business and Professions Code or by Section 10164 or 20103.5 of the Public Contract Code, provided the contractor is registered to perform public work pursuant to Section 1725.5 at the time the contract is awarded.* Any bids submitted without proof that bidder and any listed subcontractor(s) are currently registered and qualified to perform public work, pursuant to Labor Code Section 1725.5, may not be accepted by the IPHMA.

The Scope of Work is as follows: Involves the removal and replacement of asphalt shingle roof systems and related flashings at steep-sloped roof sections with new asphalt shingles and flashing, the removal and replacement of built-up roof systems covering low-sloped roof sections with new 60-mil fully adhered PVC single ply membrane systems and related flashings, and the completion of repairs and maintenance measures to existing roof systems, flashings, and accessories. The intent is to return the existing asphalt shingle and built-up/modified bitumen roof systems back to a maintainable and watertight condition for a standard service life.

Two pre-bid meeting(s) will be conducted by the City Engineer at the job site on **Tuesday, February 25, 2025 at 8:00 A.M.** and **Wednesday, March 5, 2025 at 8:00 A.M.** All bidders are required to attend; it is mandatory to attend one of the pre-bid meetings. Attendees will meet at **16000 Temple Avenue (bunkhouse), City of Industry, CA 91744.** The job walk will visit each of the nine locations. The job walk will spend 10-15 minutes at each location, with the overall job walk lasting approximately 4 hours in total. Carpooling is highly encouraged. For bidders who are not able to attend the scheduled job walks and desire to provide a bid, arrangements may be made by contacting the project manager at CNC Engineering, (626) 333-0336, to see the site. Job walks may be scheduled between 10 AM and 2 PM, Monday through Friday. The bidder shall allow 48 hour advance notice to allow for coordination and scheduling access to the site. Job walks requested in the last 72 hours prior to the bid time is not guaranteed, but will be accommodated if possible.

Online Questions and Answers will be due via the City of Industry's PlanetBids™ vendor portal on **Friday, March 7, 2025 at 5:00 P.M.**

**INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY
PROJECT NO. 006**

VARIOUS ROOF REPLACEMENTS AND REPAIRS

CONTRACT NO. IPHMA-0006

Each bid shall be accompanied by a bid guarantee in the form of a Cashier's Check or Bidder's Bond for not less than ten percent (10%) of the total amount of the bid, made payable to the **INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY**.

The contractor may, at his own expense, substitute securities for monies to be withheld to ensure performance under the contract.

By the order of the **INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY** dated **February 12, 2025**

Julie Gutierrez-Robles, Secretary

EXHIBIT B

Engineer's Estimate

[Attached]

ESTIMATE FOR:

INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY

PROJECT NO. 006

VARIOUS ROOF REPLACEMENTS AND REPAIRS

CONTRACT NO. IPHMA-0006

ENGINEER'S ESTIMATE

\$360,000.00

EXHIBIT C

Section A – Pages A-1 through A-8

[Attached]

SECTION A

**INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY
PROJECT NO. 006**

VARIOUS ROOF REPLACEMENTS AND REPAIRS

CONTRACT NO. IPHMA-0006

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Postmarks, mailed, emailed, or hard copy bids will not be accepted. Late bids will not be accepted.

It is the responsibility of the bidder to be sure the bid is submitted prior to the date and time indicated above. Free digital versions of the plans and specifications are available on the vendor portal. Hard copies are no longer available for purchase.

At the time of submission of the bid and thereafter, each bidder must be licensed as a **Class C-39 - Roofing Contractor OR Class B – General Building Contractor with a Subcontractor licensed as a Class C-39 – Roofing Contractor** as defined in Sections 7055-7058 of the Business and Professions Code. Each bidder shall set forth on the Bidder's Information Sheet and the Contractor's License Affidavit the classification and number of the requisite license which that bidder holds.

The **IPHMA** reserves the right to award the contract to the contractor with another license class if the **IPHMA** determines that the license class is proper for the proposed work.

A contractor or subcontractor shall not be qualified to bid on, be listed in a bid proposal, subject to the requirements of Section 4104 of the Public Contract Code, or engage in the performance of any contract for public work, as defined in this chapter, unless currently registered and qualified to perform public work pursuant to Section 1725.5. **Please note:** *It is not a violation of this section for an unregistered contractor to submit a bid that is authorized by Section 7029.1 of the Business and Professions Code or by Section 10164 or 20103.5 of the Public Contract Code, provided the contractor is registered to perform public work pursuant to Section 1725.5 at the time the contract is awarded.* Any bids submitted without proof that bidder and any listed subcontractor(s) are currently registered and qualified to perform public work, pursuant to Labor Code Section 1725.5, may not be accepted by the IPHMA.

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and related flashings, and the completion of repairs and maintenance measures to existing roof systems, flashings, and accessories. The intent is to return the existing asphalt shingle and built-up/modified bitumen roof systems back to a maintainable and watertight condition for a standard service life.

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Online Questions and Answers will be due via the City of Industry's PlanetBids™ vendor portal on **Friday, March 7, 2025 at 5:00 P.M.**

The bid shall be accompanied by a bid guarantee in the form of a Cashier's Check or Bidder's Bond for not less than ten percent (10%) of the total amount of the bid, payable to the **INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY**. The bid guarantee is to insure that the bidder, if awarded the work, will enter into a contract with the IPHMA. Failure of a contractor to enter into a contract within ten (10) days following award will cause the bid guarantee to be forfeited. If the bid guarantee is a Cashier's Check it must be delivered to City Hall prior to the bid opening date and time. The Cashier's Check shall be sealed in an envelope, endorsed as follows: IPHMA-0006 - VARIOUS ROOF REPLACEMENTS AND REPAIRS, City of Industry City Hall, 15625 Mayor Dave Way, City of Industry, California 91744. If a bid bond is chosen, a scanned PDF will be accepted through PlanetBids™, however, the three apparent low bidders will be contacted to submit the original bid bond and signed bid package to the IPHMA and will be given a deadline to submit.

The IPHMA may, upon refusal or failure of a successful responsible bidder to accept the contract, award it to the next lowest bidder. If the IPHMA awards the contract to the second lowest bidder, the amount of the lowest bidder's bid guarantee shall be applied by the IPHMA to the difference between the low bid and the second lowest bid; the surplus, if any, shall be returned to the lowest bidder if cash is used, or to the surety company if a bond is used.

The successful bidder will be required to furnish a labor and materials bond in an amount equal to one hundred percent (100%) of the contract price and a faithful performance bond in an amount equal to one hundred percent (100%) of the contract price. A maintenance bond equal to ten percent (10%) of the total bid price amount is to remain in force for one (1) year after the date of completion of work, shall be submitted prior to

execution of contract. The above bonds shall be secured by a surety company satisfactory to the IPHMA, and licensed as a Surety Insurer in the State of California and rated at least B+:V in the latest "Best's Insurance Guide." The attached bond forms shall be used without exception.

CONTRACTOR

INSURANCE

Prior to the beginning of and throughout the duration of the Project, Contractor and its subcontractors shall maintain insurance in conformance with the requirements set forth below. Contractor will use existing coverage to comply with these requirements. If that existing coverage does not meet the requirements set forth herein, Contractor agrees to amend, supplement or endorse the existing coverage to do so.

Contractor acknowledges that the insurance coverage and policy limits set forth in this section constitute the minimum amount of coverage required. Any insurance proceeds available to Contractor or its subcontractors in excess of the limits and coverage identified in this Agreement and which is applicable to a given loss, claim or demand, will be equally available to the IPHMA.

Contractor shall provide the following types and amounts of insurance:

Without limiting Contractor's indemnification of IPHMA, and prior to commencement of the Project, Contractor shall obtain, provide and maintain at its own expense during the term of this Agreement, policies of insurance of the type and amounts described below and in a form satisfactory to the IPHMA.

General Liability Insurance. Contractor shall maintain commercial general liability insurance with coverage at least as broad as Insurance Services Office form CG 00 01, in an amount not less than \$5,000,000 per occurrence, \$10,000,000 general aggregate, for bodily injury, personal injury, and property damage, and a \$5,000,000 completed operations aggregate. The policy must include contractual liability that has not been amended. Any endorsement restricting standard ISO "insured contract" language will not be accepted.

Automobile Liability Insurance. Contractor shall maintain automobile insurance at least as broad as Insurance Services Office form CA 00 01 covering bodily injury and property damage for all activities of the Contractor arising out of or in connection with work to be performed under this Agreement, including coverage for any owned, hired, non-owned or rented vehicles, in an amount not less than \$1,000,000 combined single limit for each accident.

Umbrella or Excess CGL Insurance. If the CONTRACTOR elects to include an umbrella or excess policy to cover any of the total limits required beyond the primary commercial general liability ("CGL") policy limits and/or the primary commercial automobile liability policy limits, then the policy must include the following:

- The umbrella or excess policy shall follow form over the CONTRACTOR's primary general liability coverage and shall provide a separate aggregate limit for products and completed operations coverage.
- The umbrella or excess policy shall not contain any restrictions or exclusions beyond what is contained in the primary policy.
- The umbrella or excess policy shall contain a clause stating that it takes effect (drops down) in the event the primary limits are impaired or exhausted.
- The umbrella or excess policy must also extend coverage over the automobile policy if it is to be used in combination with the primary automobile policy to meet the total insurance requirement limits.

Workers' Compensation Insurance. Contractor shall maintain Workers' Compensation Insurance (Statutory Limits) and Employer's Liability Insurance (with limits of at least \$1,000,000) for Contractor's employees in accordance with the laws of the State of California, Section 3700 of the Labor Code. In addition, Contractor shall require each subcontractor to similarly maintain Workers' Compensation Insurance and Employer's Liability Insurance in accordance with the laws of the State of California, Section 3700 for all of the subcontractor's employees.

Contractor shall submit to the IPHMA, along with the certificate of insurance, a Waiver of Subrogation endorsement in favor of the IPHMA, its officers, agents, employees and volunteers.

Pollution Liability Insurance. Environmental Impairment Liability Insurance shall be written on a Contractor's Pollution Liability form or other form acceptable to the IPHMA providing coverage for liability arising out of sudden, accidental and gradual pollution and remediation. The policy limit shall be no less than \$1,000,000 dollars per claim and in the aggregate. All activities contemplated in this agreement shall be specifically scheduled on the policy as "covered operations." The policy shall provide coverage for the hauling of waste from the project site to the final disposal location, including non-owned disposal sites.

Completed Operations Coverage. Products/completed operations coverage shall extend a minimum of ten years after project completion. Coverage shall be included on behalf of the insured for covered claims arising out of the actions of independent contractors. If the insured is using subcontractors, the Policy must include work performed "by or on behalf" of the insured. Policy shall contain no language that would invalidate or remove the insurer's duty to defend or indemnify for claims or suits expressly excluded from coverage. Policy shall specifically provide for a duty to defend on the part of the insurer. The IPHMA, its officials, officers, agents, and employees, shall be included as insureds under the policy.

Other provisions or requirements:

Proof of Insurance. Contractor shall provide certificates of insurance to the IPHMA as evidence of the insurance coverage required herein, along with a waiver of subrogation endorsement for workers' compensation. Insurance certificates and endorsements must

be approved by the IPHMA's risk manager prior to commencement of performance. Current certification of insurance shall be kept on file with the IPHMA at all times during the term of this contract. The IPHMA reserves the right to require complete, certified copies of all required insurance policies, at any time.

Duration of Coverage. Contractor shall procure and maintain for the duration of the contract insurance against claims for injuries to persons or damages to property, which may arise from or in connection with the performance of the work hereunder by Contractor, his agents, representatives, employees or subcontractors. Contractor must maintain general liability and umbrella or excess liability insurance for as long as there is a statutory exposure to completed operations claims. The IPHMA and its officers, officials, employees, and agents shall continue as additional insureds under such policies.

Primary/Noncontributing. Coverage provided by Contractor shall be primary and any insurance or self-insurance procured or maintained by the IPHMA shall not be required to contribute with it. The limits of insurance required herein may be satisfied by a combination of primary and umbrella or excess insurance. Any umbrella or excess insurance shall contain or be endorsed to contain a provision that such coverage shall also apply on a primary and non-contributory basis for the benefit of the IPHMA before the IPHMA's own insurance or self-insurance shall be called upon to protect it as a named insured.

IPHMA's Rights of Enforcement. In the event any policy of insurance required under this Agreement does not comply with these requirements or is canceled and not replaced, the IPHMA has the right but not the duty to obtain the insurance it deems necessary and any premium paid by the IPHMA will be promptly reimbursed by Contractor or the IPHMA will withhold amounts sufficient to pay premium from Contractor payments. In the alternative, the IPHMA may cancel this Agreement.

Acceptable Insurers. All insurance policies shall be issued by an insurance company currently authorized by the Insurance Commissioner to transact business of insurance or is on the List of Approved Surplus Line Insurers in the State of California, with an assigned policyholders' Rating of A- (or higher) and Financial Size Category Class VII (or larger) in accordance with the latest edition of Best's Key Rating Guide, unless otherwise approved by the IPHMA's risk manager.

Waiver of Subrogation. All insurance coverage maintained or procured pursuant to this agreement shall be endorsed to waive subrogation against IPHMA, its elected or appointed officers, agents, officials, employees and volunteers or shall specifically allow Contractor or others providing insurance evidence in compliance with these specifications to waive their right of recovery prior to a loss. Contractor hereby waives its own right of recovery against IPHMA, and shall require similar written express waivers and insurance clauses from each of its subconsultants.

Enforcement of Contract Provisions (non estoppel). Contractor acknowledges and agrees that any actual or alleged failure on the part of the IPHMA to inform Contractor of non-compliance with any requirement imposes no additional obligations on the IPHMA nor does it waive any rights hereunder.

Requirements Not Limiting. Requirements of specific coverage features or limits contained in this Section are not intended as a limitation on coverage, limits or other requirements, or a waiver of any coverage normally provided by any insurance. Specific reference to a given coverage feature is for purposes of clarification only as it pertains to a given issue and is not intended by any party or insured to be all inclusive, or to the exclusion of other coverage, or a waiver of any type. If the Contractor maintains higher limits than the minimums shown above, the IPHMA requires and shall be entitled to coverage for the higher limits maintained by the Contractor. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the IPHMA.

Notice of Cancellation. Contractor agrees to oblige its insurance agent or broker and insurers to provide to IPHMA with a thirty (30) day notice of cancellation (except for nonpayment for which a ten (10) day notice is required) or nonrenewal of coverage for each required coverage.

Additional Insured Status. General liability policies shall provide or be endorsed to provide that IPHMA and its officers, officials, employees, agents, and volunteers shall be additional insureds under such policies. This provision shall also apply to any excess/umbrella liability policies.

Prohibition of Undisclosed Coverage Limitations. None of the coverages required herein will be in compliance with these requirements if they include any limiting endorsement of any kind that has not been first submitted to IPHMA and approved of in writing.

Separation of Insureds. A severability of interests provision must apply for all additional insureds ensuring that Contractor's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the insurer's limits of liability. The policy(ies) shall not contain any cross-liability exclusions.

Pass Through Clause. Contractor agrees to ensure that its subconsultants, subcontractors, and any other party involved with the project who is brought onto or involved in the project by Contractor, provide the same minimum insurance coverage and endorsements required of Contractor. Contractor agrees to monitor and review all such coverage and assumes all responsibility for ensuring that such coverage is provided in conformity with the requirements of this section. Contractor agrees that upon request, all agreements with consultants, subcontractors, and others engaged in the project will be submitted to IPHMA for review.

IPHMA's Right to Revise Requirements. The IPHMA reserves the right at any time during the term of the contract to change the amounts and types of insurance required by giving the Contractor a ninety (90)-day advance written notice of such change. If such change results in substantial additional cost to the Contractor, the IPHMA and Contractor may renegotiate Contractor's compensation.

Self-insured Retentions. Any self-insured retentions must be declared to and approved by IPHMA. IPHMA reserves the right to require that self-insured retentions be eliminated,

lowered, or replaced by a deductible. Self-insurance will not be considered to comply with these specifications unless approved by the IPHMA.

Timely Notice of Claims. Contractor shall give IPHMA prompt and timely notice of claims made or suits instituted that arise out of or result from Contractor's performance under this Agreement, and that involve or may involve coverage under any of the required liability policies.

Additional Insurance. Contractor shall also procure and maintain, at its own cost and expense, any additional kinds of insurance, which in its own judgment may be necessary for its proper protection and prosecution of the work.

EXPERIENCE AND SAFETY

The successful bidder may be required to submit a statement attesting to its financial responsibility, technical ability, experience, and safety record.

PREVAILING WAGES

- A. Wage rates for this Project shall be in accordance with the "General Wage Determination Made by the Director of Industrial Relations Pursuant To California Labor Code, Part 7, Chapter 1, Article 2, Sections 1770, 1773 and 1773.1 ", for Los Angeles County. Wage rates shall conform to those on file at City Hall and the Project site.
- B. The following Labor Code sections are hereby referenced and made a part of this Agreement:
 - (i) Section 1775, Penalty for Failure to Comply with Prevailing Wage Rates.
 - (ii) Section 1777.4, Apprenticeship Requirements.
 - (iii) Section 1777.5, Apprenticeship Requirements.
 - (iv) Section 1813, Penalty for Failure to Pay Overtime.
 - (v) Section 1810 and 1811, Working Hour Restrictions.
 - (vi) Section 1775, Payroll Records.
 - (vii) Section 1773.8, Travel and Subsistence Pay.

CONTRACTOR REGISTRATION PROGRAM

A contractor or subcontractor shall not be qualified to bid on, be listed in a bid proposal, subject to the requirements of Section 4104 of the Public Contract Code, or engage in the performance of any contract for public work, as defined in this chapter, unless currently registered and qualified to perform public work pursuant to Section

1725.5. **Please note:** *It is not a violation of this section for an unregistered contractor to submit a bid that is authorized by Section 7029.1 of the Business and Professions Code or by Section 10164 or 20103.5 of the Public Contract Code, provided the contractor is registered to perform public work pursuant to Section 1725.5 at the time the contract is awarded. Any bids submitted without proof that bidder and any listed subcontractor(s) are currently registered and qualified to perform public work, pursuant to Labor Code Section 1725.5, may not be accepted by the IPHMA.*

LABOR COMPLIANCE MONITORING AND ENFORCEMENT

The project is subject to compliance monitoring and enforcement by the Department of Industrial Relations (California Labor Code Section 1771.4).

AGREEMENT

When the award of a contract is made to a corporation, the Agreement must be signed by the Secretary/Treasurer of the corporation in addition to the signature of the President/Vice President, or the public agency needs to receive a copy of a resolution adopted by the Board of Directors of the corporation indicating that the party executing the contract has the authority to bind the corporation.

SURETY BONDS

All surety bonds issued in connection with projects for public works must be accompanied by a power of attorney from the surety company authorizing the person executing the bond to sign on behalf of the company. The power of attorney and the bonds must be executed by the same person, and such signatures shall be notarized.

By the order of the **INDUSTRY PROPERTY AND HOUSING MANAGEMENT AUTHORITY** dated **February 12, 2025**.

Julie Gutierrez-Robles, Secretary

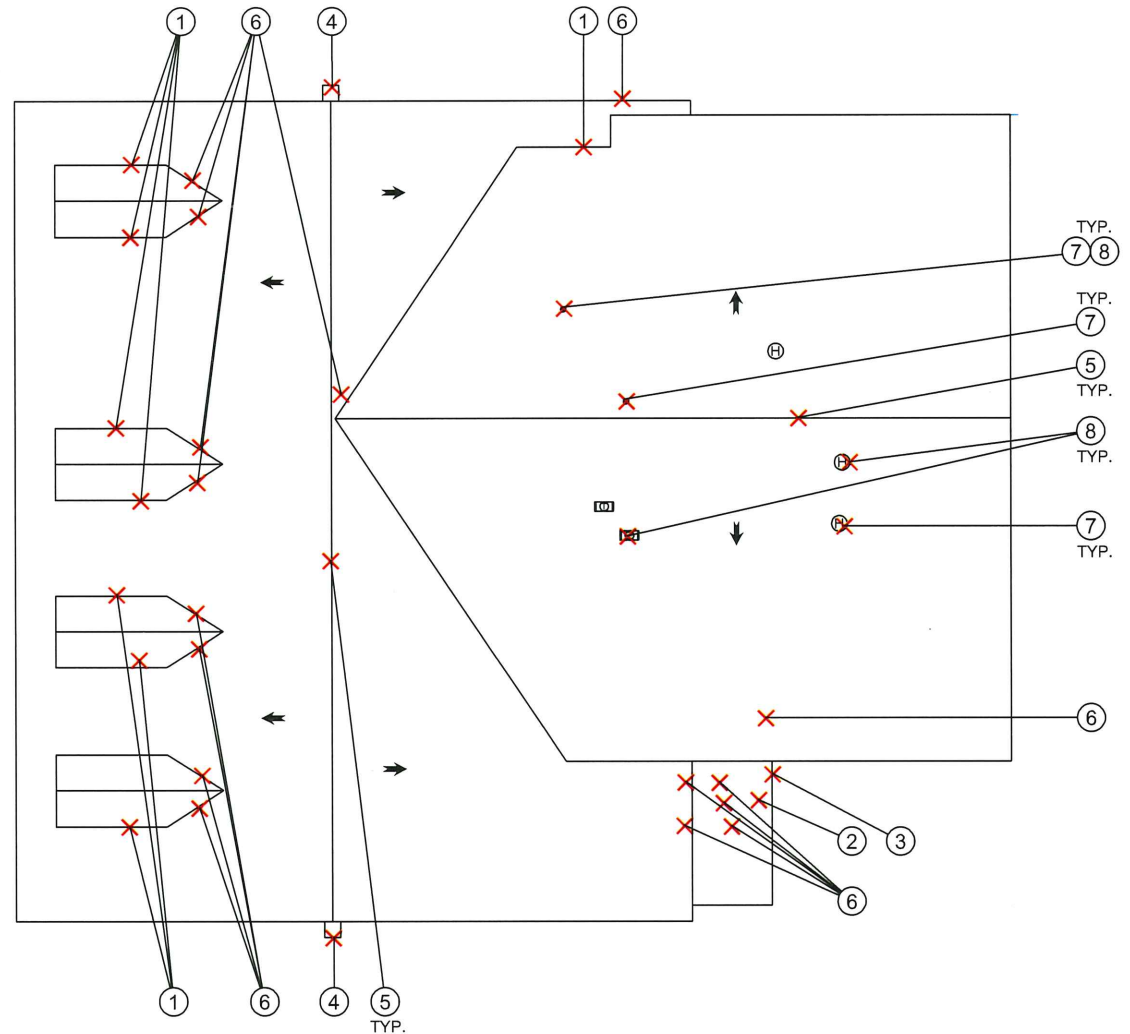
EXHIBIT D

Reduced Set of Project Plans

[Attached]

SPECIFIC FIELD OBSERVATIONS:

1. DETERIORATION OF VERTICAL WOOD SIDING - REPLACE DURING IMPENDING ROOF REPLACEMENT PROJECT TO FACILITATE INSTALLATION OF CRITICAL ROOF SYSTEM FLASHINGS.
2. DETERIORATION OF WOOD SHIPLAP DECKING MATERIALS ALONG EAVE EDGES - REPLACE DURING ROOF REPLACEMENT PROJECT.
3. DETERIORATION OF WOODEN RAFTER SUPPORTS - REPAIR/REPLACE DURING ROOF REPLACEMENT PROJECT.
4. DETERIORATION OF END/TAIL OF WOODEN BEAM - REPAIR DURING ROOF REPLACEMENT PROJECT.
5. FRACTURING OF RIDGE CAP SHINGLES - REPLACE DURING ROOF REPLACEMENT PROJECT. IN THE INTERIM, REPAIR DAMAGED CP SHINGLES AT ACTIVE LEAK LOCATIONS.
6. FRACTURED ASPHALT SHINGLE - REMOVE AND REPLACE WITH NEW SHINGLE TO CLOSELY MATCH EXISTING.
7. MISSING CRITICAL SEAL AT COLLAR OF ROOF JACK FLASHING - SEAL WITH A TOOLED APPLICATION OF URETHANE-BASED SEALANT.
8. RUSTING OF ROOF JACK/VENT FLASHING SURFACES - REPLACE DURING ROOF REPLACEMENT PROJECT.



ROOF PLAN - 2022 Roof Survey

1/12" = 1' - 0"

BUNK HOUSE

DEFICIENCIES		LEGEND		ROOF STATISTICS	
X	GEN. DEFICIENCY	M	D	MECH. UNIT / DUCT	YEAR OF INSTALLATION: ?
○	PONDING	R	S	ROOF HATCH/SKYLIGHT	ROOF SIZE: 3,018 SQ. FT.
⊖	BLISTER	F	V	EXHAUST FAN/VENT	
●	BARE SPOT	⊗		DRAIN	
—	RIDGING	T	V	T-TOP VENT/VENT	
~	SPLIT	=		SCUPPER	
▲	TEST CUT	EJ		EXPANSION JOINT	

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16000 TEMPLE AVENUE

CITY OF INDUSTRY, CA 91744

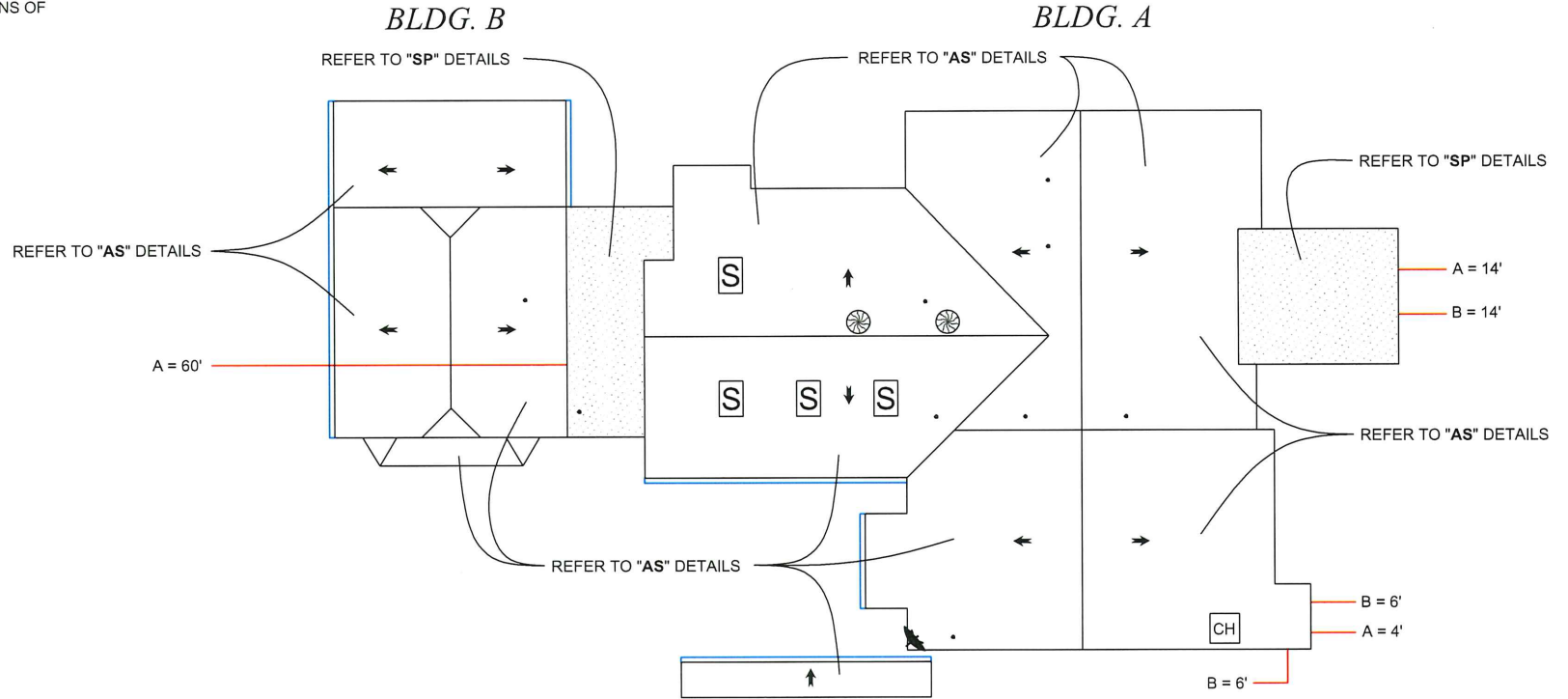
DWG.NO.10551BW23

LAST REV: 06/06/22

DB: BAG RB: BAG

NOTES:

1. REPLACE DAMAGED AND MISSING SECTIONS OF GUTTER TO MATCH EXISTING.
2. BASE BID WOOD REPLACEMENT TOTALS:
 - A. = 1"X6" SHIPLAP = 78'
 - B. = 2"X6" FASCIA = 38'



ROOF PLAN - 2022 Roof Replacement Projects

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
M	D	MECH. UNIT / DUCT
FR	S	ROOF HATCH/SKYLIGHT
F	V	EXHAUST FAN/VENT
⊗		DRAIN
⊕	V	T-TOP VENT/VENT
—		SCUPPER
EJ		EXPANSION JOINT
		YEAR OF INSTALLATION: ?
		STEEP SLOPE: 2,664 SQ. FT
		LOW SLOPE: 293 SQ. FT

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14063 E. PROCTOR AVENUE

CITY OF INDUSTRY, CA 91744

DWG.NO.10551BW01

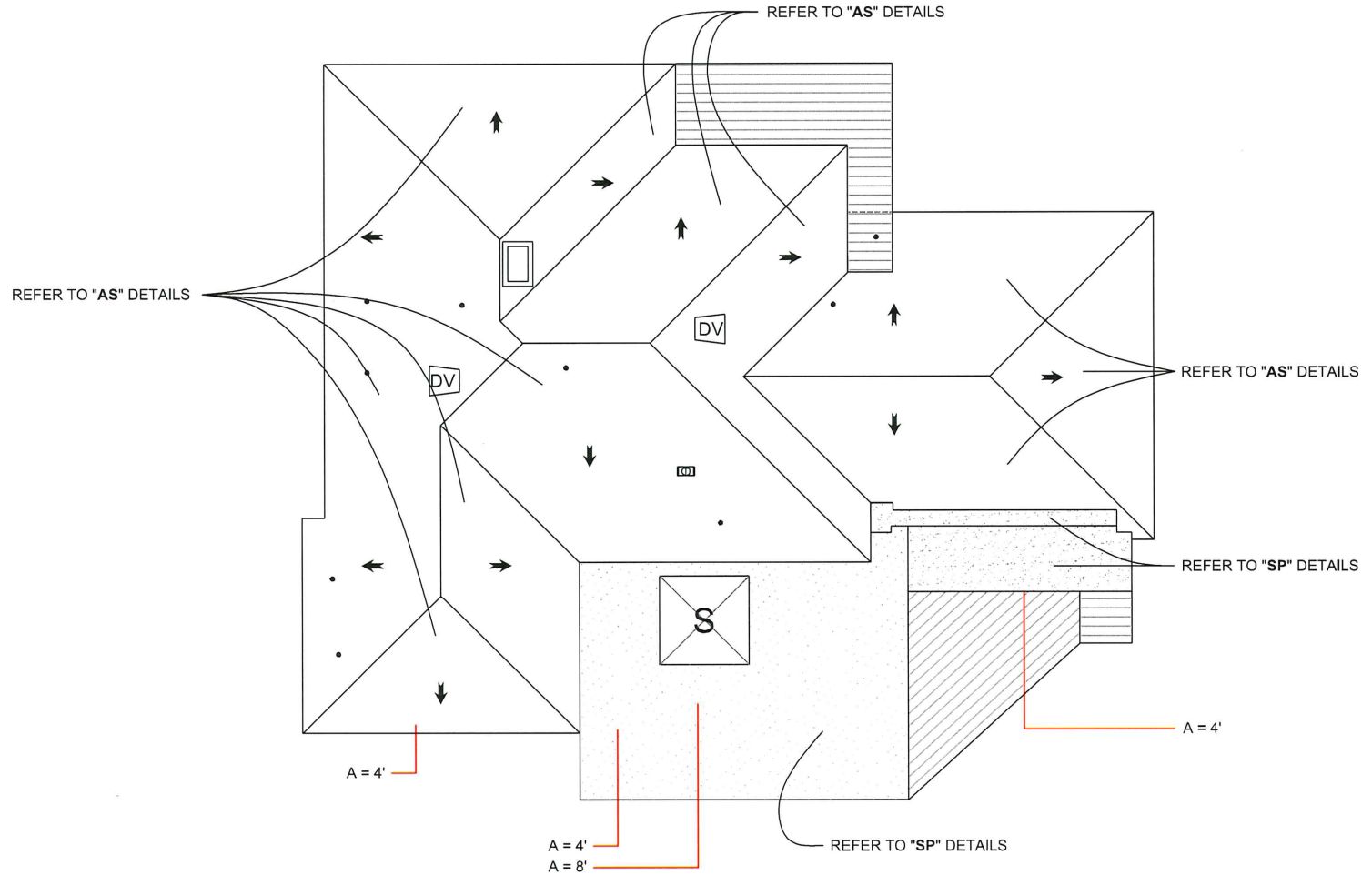
LAST REV: 01/26/22

DB: BN RB: BN

NOTES:

1. BASE BID WOOD REPLACEMENT TOTALS:

A. = 1"X8" SHIPLAP = 30'



ROOF PLAN - 2022 Roof Replacement Projects

1/12" = 1' - 0"

LEGEND		ROOF STATISTICS
M	D	MECH. UNIT / DUCT
R	S	ROOF HATCH/SKYLIGHT
F	V	EXHAUST FAN/VENT
⊗		DRAIN
T	V	T-TOP VENT/VENT
≡		SCUPPER
EJ		EXPANSION JOINT
		YEAR OF INSTALLATION: ?
		ROOF SIZE: 1,785 SQ. FT
		CANOPY: 695 SQ. FT

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15652 E. NELSON AVENUE

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DWG. NO. 10551BW02

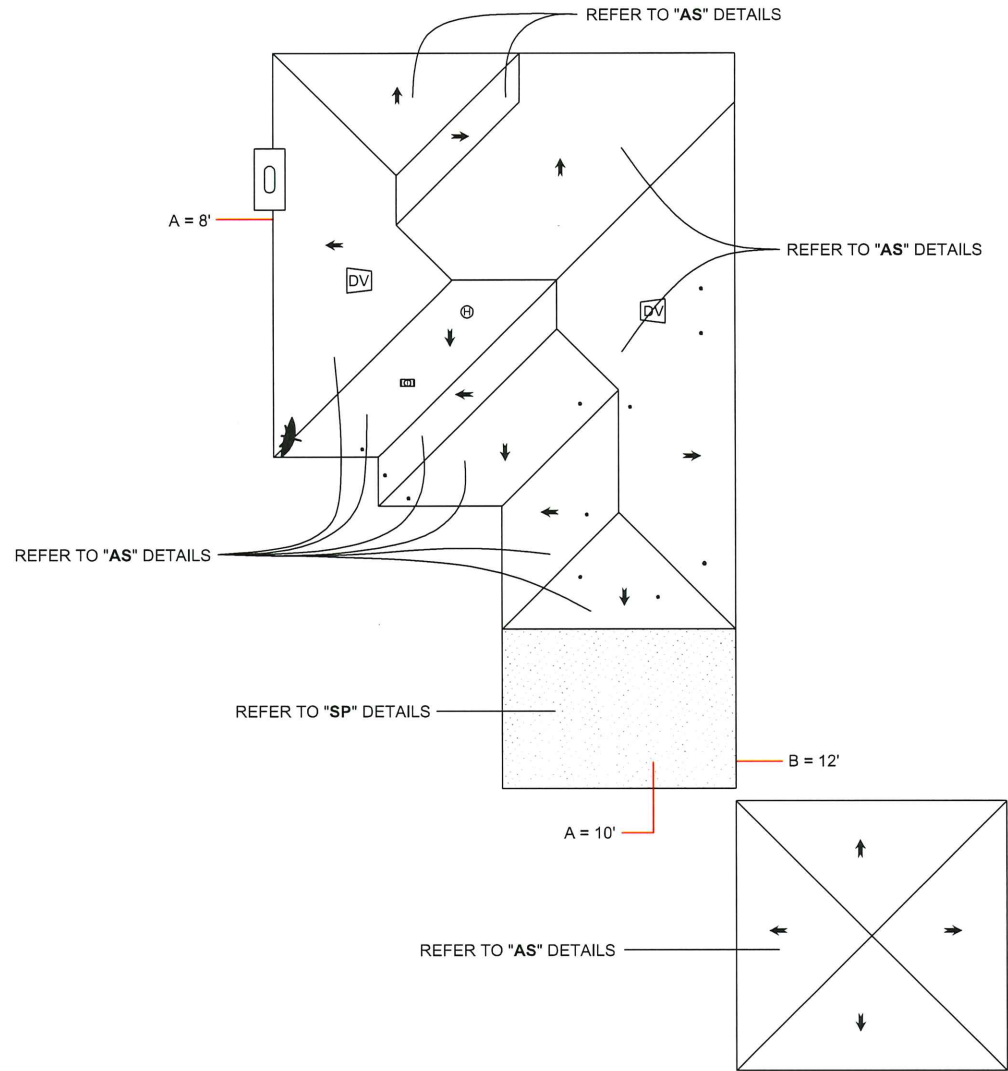
LAST REV: 01/26/22

DB: BN RB: BN

NOTES:

1. BASE BID WOOD REPLACEMENT TOTALS:

- A. = 1"X8" SHIPLAP = 18'
- B. = 2"X10" FASCIA = 12'



ROOF PLAN - 2022 Roof Replacement Projects

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
M	D	MECH. UNIT / DUCT
R	S	ROOF HATCH/SKYLIGHT
F	V	EXHAUST FAN/VENT
D		DRAIN
T	V	T-TOP VENT/VENT
S		SCUPPER
EJ		EXPANSION JOINT
		YEAR OF INSTALLATION: ?
		ROOF SIZE: 1,670 SQ. FT
		CANOPY: 270 SQ. FT
		GARAGE: 504 SQ. FT

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15714 E. NELSON AVENUE

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DWG. NO. 10551BW04

LAST REV: 01/26/22

DB: BN RB: BN

NOTES:

1. ASPHALT SHINGLE SYSTEMS ARE NOT SCHEDULED FOR REPLACEMENT ON THIS BUILDING.

 = NOT IN SCOPE OF WORK.














REFER TO "SP" DETAILS



ROOF PLAN - 2022 Roof Replacement Projects

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
 	MECH. UNIT / DUCT	YEAR OF INSTALLATION: ?
 	ROOF HATCH/SKYLIGHT	ROOF SIZE: 1,740 SQ. FT
 	EXHAUST FAN/VENT	CANOPY: 155 SQ. FT
	DRAIN	GARAGE: 481 SQ. FT
 	T-TOP VENT/VENT	SHED: 100 SQ. FT
	SCUPPER	
	EXPANSION JOINT	

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15736 E. NELSON AVENUE

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DWG.NO 10551BW07

LAST REV: 01/26/22

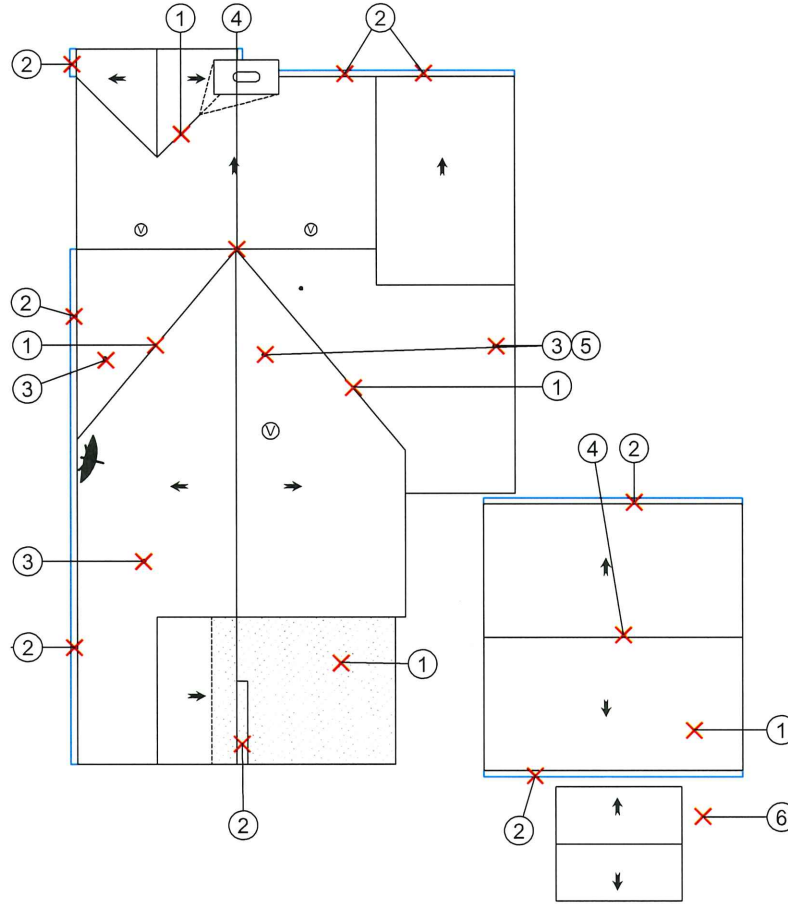
DB: SR RB: BN

NOTES:

- A. RAIN GUTTER FLASHINGS ARE TO BE RESTORED AS SPECIFIED.
- B. ROOF JACK, HEATER STACKS, DORMERS, TURBINES, SADDLES, APRONS AND CHIMNEY CAP FLASHING SURFACES ARE TO BE RESTORED IN ACCORDANCE WITH THESE SPECIFICATIONS.
- C. REFER TO SPECIFICATION SECTION 07730 "MAINTENANCE AND REPAIR SPECIFICATION" FOR GENERAL AND SPECIAL PROJECT CONDITION REQUIREMENTS.

ROOF DEFICIENCIES:

- 1. REMOVE ACCUMULATIONS OF FOLIAGE DEBRIS AND DIRT FROM THE ROOF SURFACE.
- 2. REMOVE ACCUMULATIONS OF FOLIAGE DEBRIS AND DIRT FROM INTERIOR OF GUTTER TROUGHS.
- 3. CRACKED SEAL AT ROOF JACK FLASHING ASSEMBLY - RESEAL WITH A THREE-COURSE APPLICATION OF ELASTIC CEMENT AND POLYESTER REINFORCING FABRIC AND INSTALL NEW PREFABRICATED RUBBERIZED STORM COLLAR.
- 4. DETERIORATED SEALS AT EXPOSED RIDGE CAP NAILS - SEAL WITH A DAB OF URETHANE-BASED SEALANT.
- 5. LOOSE ROOF JACK FLASHING FLANGE - FASTEN FLANGE IN THE FLUSH POSITION AND SEAL FASTENER WITH A DAB OF URETHANE-BASED SEALANT.
- 6. TRIM-BACK OVERHANGING TREE LIMBS A MINIMUM OF 1 TO 2 FEET BACK FROM ROOF EDGES.



ROOF PLAN - 2022 Maintenance & Repair Scope of Work

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
[S]	SKYLIGHT	YEAR OF INSTALLATION: ?
[T]	TURBINE VENT	ROOF SIZE: 1,740 SQ. FT
[F]	EXHAUST FAN/VENT	CANOPY: 155 SQ. FT
[D]	DORMER VENT	GARAGE: 481 SQ. FT
[V]	T-TOP VENT/VENT	SHED: 100 SQ. FT
[SC]	SCUPPER	

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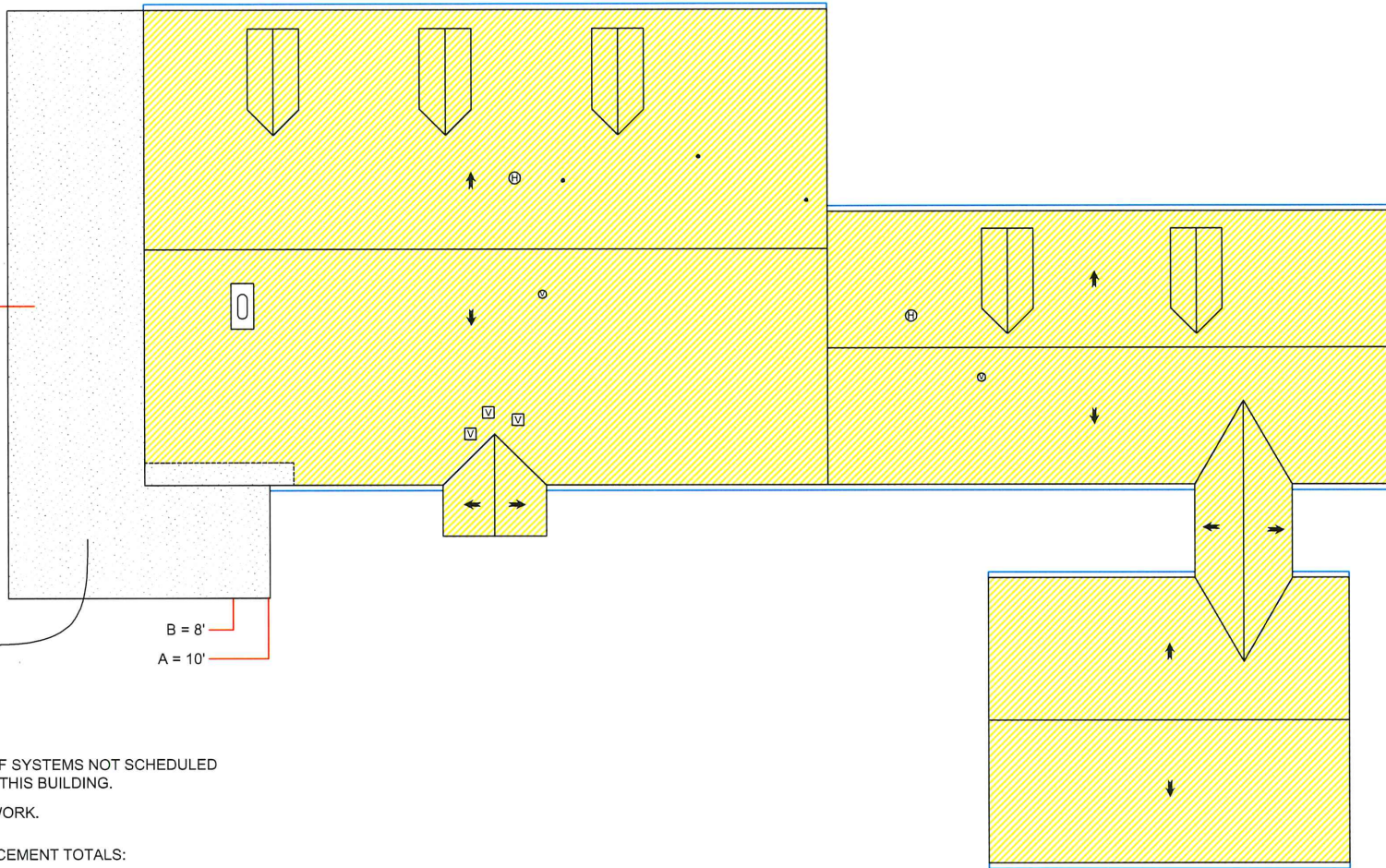
15736 E. NELSON AVENUE

CITY OF INDUSTRY, CA 91744

DWG.NO.10551BW07

LAST REV: 01/28/22

DB: SR RB: BN



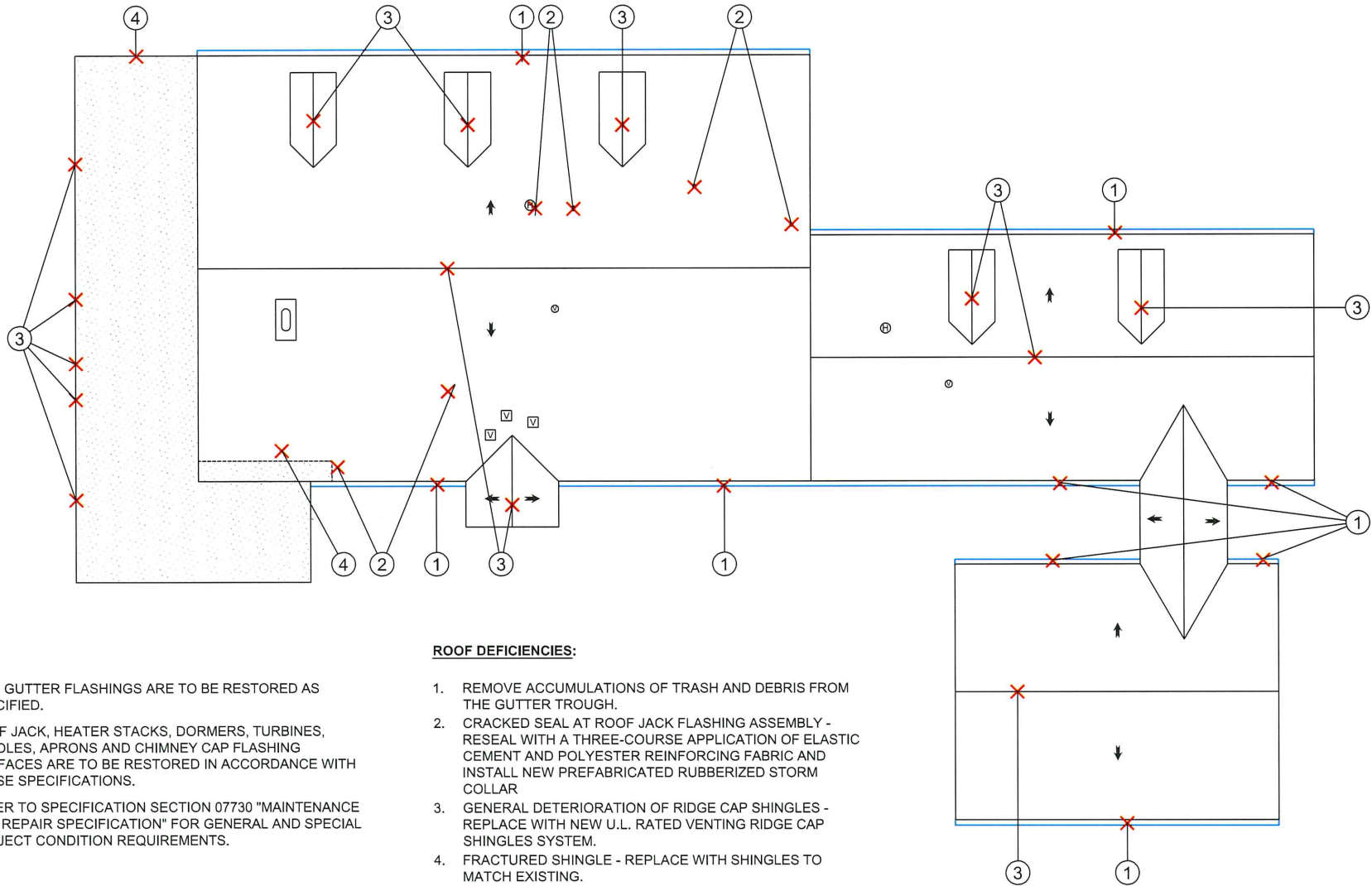
- NOTES:**
- ASPHALT SHINGLE ROOF SYSTEMS NOT SCHEDULED FOR REPLACEMENT ON THIS BUILDING.
 - BASE BID WOOD REPLACEMENT TOTALS:
 - A. = 2"X10 RAFTER = 10'
 - A. = 1"X6" SHIPLAP = 108'
 - B. = 2"X8" RAFTER = 256' (16 UNITS)



ROOF PLAN - 2022 Roof Replacement Projects

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
M	D	MECH. UNIT / DUCT
R	S	ROOF HATCH/SKYLIGHT
F	V	EXHAUST FAN/VENT
⊗		DRAIN
⊕	V	T-TOP VENT/VENT
—		SCUPPER
EJ		EXPANSION JOINT
		YEAR OF INSTALLATION: ?
		ROOF SIZE: 4,876 SQ. FT
		CANOPY: 734 SQ. FT



NOTES:

- A. RAIN GUTTER FLASHINGS ARE TO BE RESTORED AS SPECIFIED.
- B. ROOF JACK, HEATER STACKS, DORMERS, TURBINES, SADDLES, APRONS AND CHIMNEY CAP FLASHING SURFACES ARE TO BE RESTORED IN ACCORDANCE WITH THESE SPECIFICATIONS.
- C. REFER TO SPECIFICATION SECTION 07730 "MAINTENANCE AND REPAIR SPECIFICATION" FOR GENERAL AND SPECIAL PROJECT CONDITION REQUIREMENTS.

ROOF DEFICIENCIES:

1. REMOVE ACCUMULATIONS OF TRASH AND DEBRIS FROM THE GUTTER TROUGH.
2. CRACKED SEAL AT ROOF JACK FLASHING ASSEMBLY - RESEAL WITH A THREE-COURSE APPLICATION OF ELASTIC CEMENT AND POLYESTER REINFORCING FABRIC AND INSTALL NEW PREFABRICATED RUBBERIZED STORM COLLAR
3. GENERAL DETERIORATION OF RIDGE CAP SHINGLES - REPLACE WITH NEW U.L. RATED VENTING RIDGE CAP SHINGLES SYSTEM.
4. FRACTURED SHINGLE - REPLACE WITH SHINGLES TO MATCH EXISTING.



ROOF PLAN - 2022 Maintenance & Repair Scope of Work

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
[S]	SKYLIGHT	YEAR OF INSTALLATION: ?
[T]	TURBINE VENT	ROOF SIZE: 4,876 SQ. FT
[F]	EXHAUST FAN/VENT	CANOPY: 734 SQ. FT
[D]	DORMER VENT	
[V]	T-TOP VENT/VENT	
[SC]	SCUPPER	

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CITY OF INDUSTRY, CA 91744

DWG.NO J0551BW16

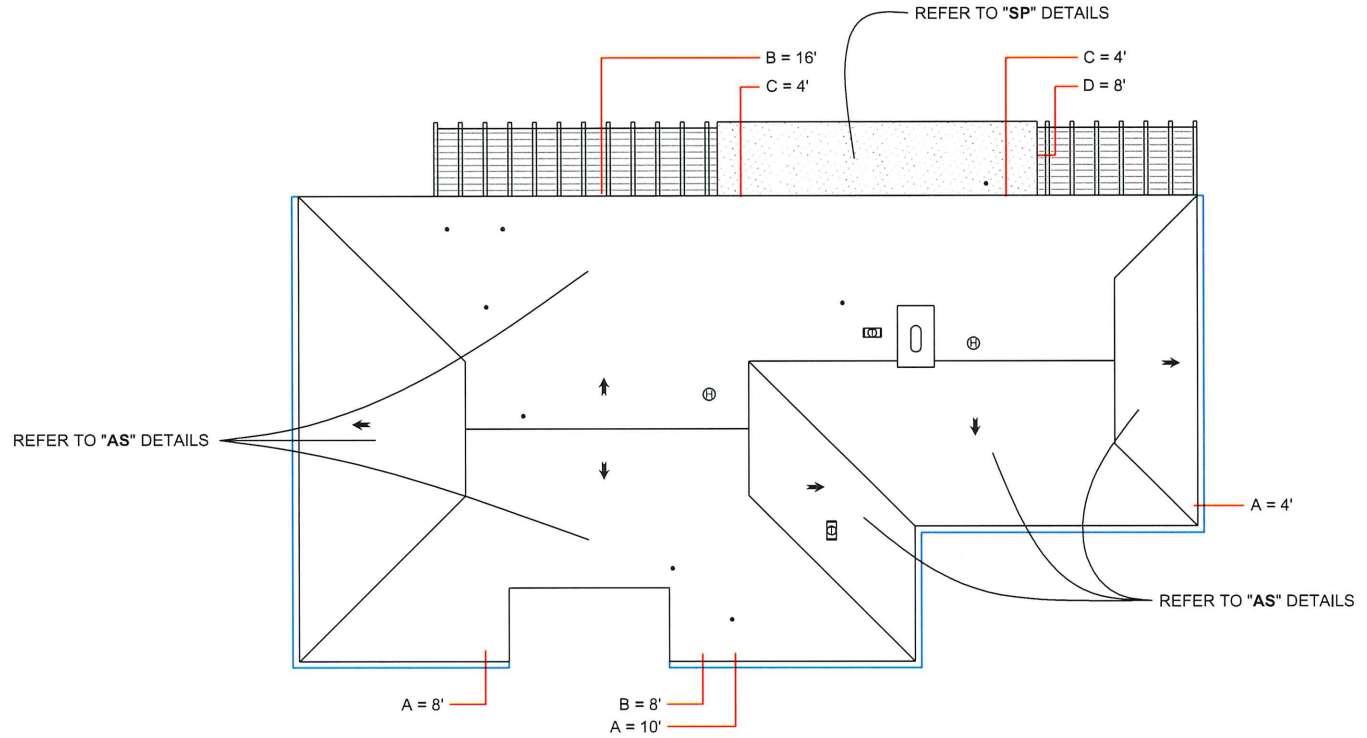
LAST REV: 01/28/22

DB: KL RB: BN

NOTES:

1. BASE BID WOOD REPLACEMENT TOTALS:

- A. = 1"X6" FASCIA = 22'
- B. = 1/2" PLYWOOD SOFFIT = 24'
- C. = 2"X6" FASCIA = 8'
- D. = 2"X10" TAPERED RAFTER = 8'



ROOF PLAN - 2022 Roof Replacement Projects

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
<input type="checkbox"/> M	<input type="checkbox"/> D MECH. UNIT / DUCT	YEAR OF INSTALLATION: ?
<input type="checkbox"/> RH	<input type="checkbox"/> S ROOF HATCH/SKYLIGHT	ROOF SIZE: 2,723 SQ. FT
<input type="checkbox"/> F	<input type="checkbox"/> V EXHAUST FAN/VENT	CANOPY: 175 SQ. FT
<input type="checkbox"/> X	⊗ DRAIN	
<input type="checkbox"/> T	<input type="checkbox"/> V T-TOP VENT/VENT	
<input type="checkbox"/> =	SCUPPER	
<input type="checkbox"/> E	J EXPANSION JOINT	

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16227 TEMPLE AVENUE

CITY OF INDUSTRY, CA 91744

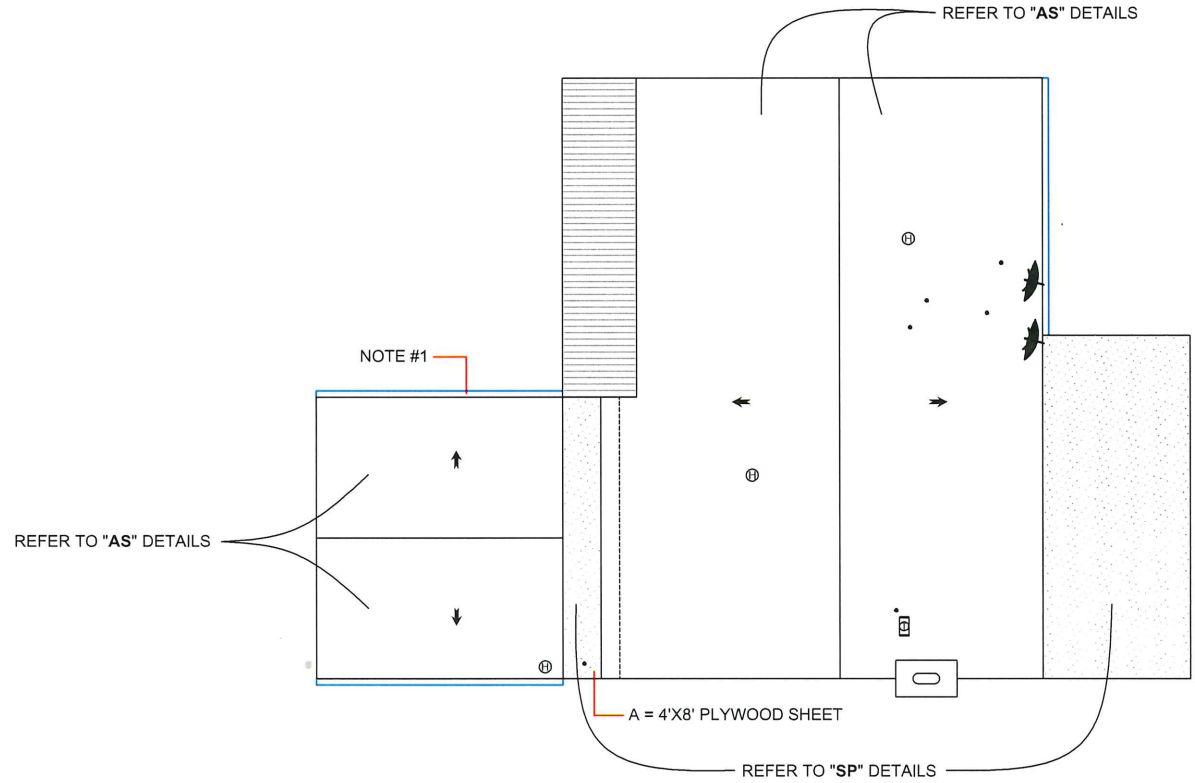
DWG.NO J0551BW15

LAST REV: 01/26/22

DB: KL RB: BN

NOTES:

1. REPLACE DAMAGED GUTTERS TO MATCH EXISTING.
2. BASE BID WOOD REPLACEMENT TOTALS:
 - A. = 1 - 4'X8' PLYWOOD SHEET



ROOF PLAN - 2022 Roof Replacement Projects

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS	
M	D	MECH. UNIT / DUCT	YEAR OF INSTALLATION: ?
R	S	ROOF HATCH/SKYLIGHT	ROOF SIZE: 2,326 SQ. FT
F	V	EXHAUST FAN/VENT	CANOPY: 492 SQ. FT
⊗		DRAIN	
⊗	⊖	T-TOP VENT/VENT	
—		SCUPPER	
EJ		EXPANSION JOINT	

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16229 TEMPLE AVENUE

CITY OF INDUSTRY, CA 91744


DWG.NO 10551BW16

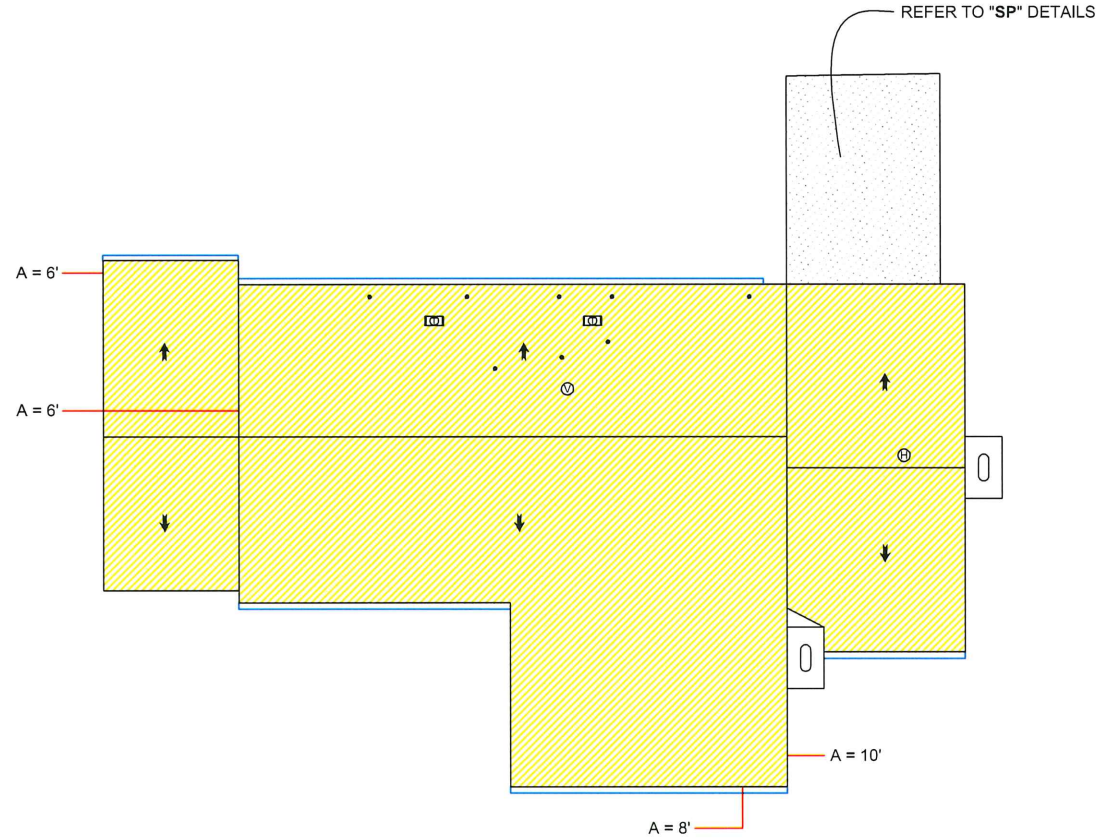
LAST REV: 01/26/22

DB: KL RB: BN

NOTES:











1. BASE BID WOOD REPLACEMENT TOTALS:
A. = 2"X8" FASCIA = 30'
2. ASPHALT SHINGLE SYSTEMS ARE NOT SCHEDULED FOR REPLACEMENT ON THIS BUILDING.

 = NOT IN SCOPE OF WORK.



ROOF PLAN - 2022 Roof Replacement Projects

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
 	MECH. UNIT / DUCT	YEAR OF INSTALLATION: ?
 	ROOF HATCH/SKYLIGHT	ROOF SIZE: 2,294 SQ. FT
 	EXHAUST FAN/VENT	CANOPY: 213 SQ. FT
 	T-TOP VENT/VENT	
	SCUPPER	
	EXPANSION JOINT	

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16238 TEMPLE AVENUE

CITY OF INDUSTRY, CA 91744

DWG.NO 10551BW17

LAST REV: 01/26/22

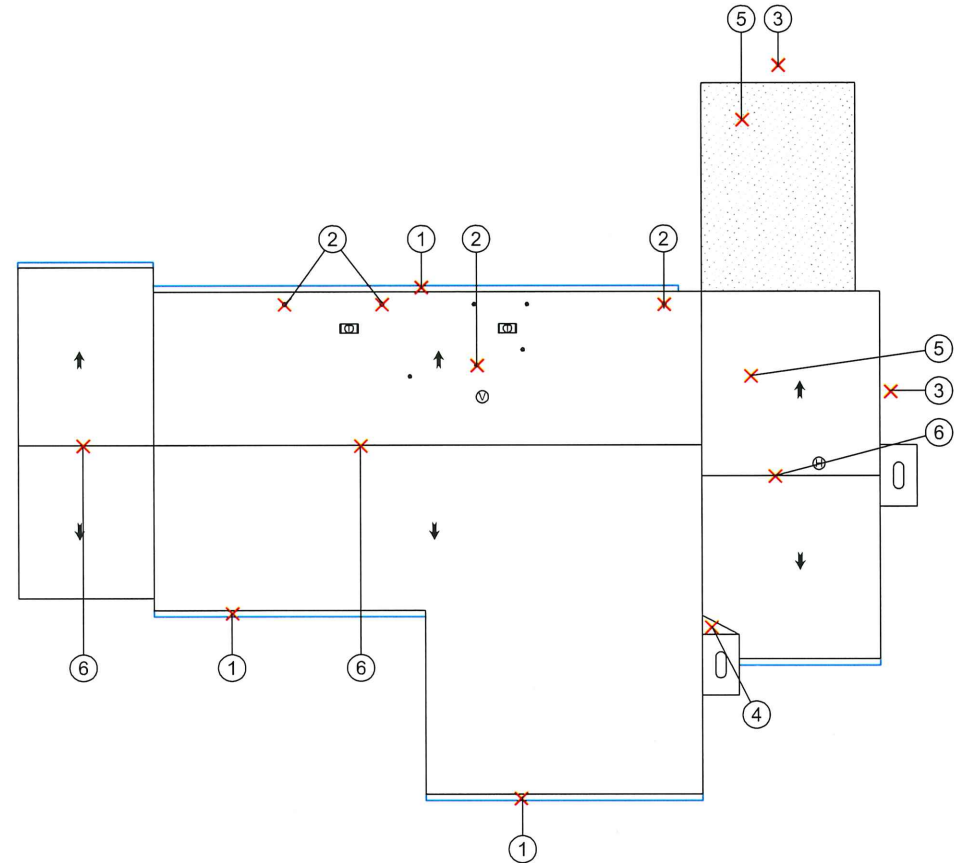
DB: KL RB: BAG

NOTES:

- A. RAIN GUTTER FLASHINGS ARE TO BE RESTORED AS SPECIFIED.
- B. ROOF JACK, HEATER STACKS, DORMERS, TURBINES, SADDLES, APRONS AND CHIMNEY CAP FLASHING SURFACES ARE TO BE RESTORED IN ACCORDANCE WITH THESE SPECIFICATIONS.
- C. REFER TO SPECIFICATION SECTION 07730 "MAINTENANCE AND REPAIR SPECIFICATION" FOR GENERAL AND SPECIAL PROJECT CONDITION REQUIREMENTS.

ROOF DEFICIENCIES:

- 1. REMOVE ACCUMULATIONS OF TRASH AND DEBRIS FROM THE GUTTER TROUGH.
- 2. CRACKED SEAL AT ROOF JACK FLASHING ASSEMBLY - RESEAL WITH A THREE-COURSE APPLICATION OF ELASTIC CEMENT AND POLYESTER REINFORCING FABRIC AND INSTALL NEW PREFABRICATED RUBBERIZED STORM COLLAR.
- 3. TRIM BACK OVERHANGING TREE LIMBS A MINIMUM OF 1 TO 2 FEET FROM ROOF EDGES.
- 4. MISSING PROPER SADDLE FLASHING AT SUSPECT LEAK LOCATION - INSTALL PROPER SADDLE FLASHING ASSEMBLY.
- 5. REMOVE ACCUMULATIONS OF FOLIAGE DEBRIS AND DIRT FROM THE ROOF SURFACE.
- 6. GENERAL DETERIORATION OF RIDGE CAP SHINGLES - REPLACE WITH NEW U.L. RATED VENTING RIDGE CAP SYSTEM.



ROOF PLAN - 2022 Maintenance & Repair Scope of Work

1/16" = 1' - 0"

LEGEND		ROOF STATISTICS
[S]	SKYLIGHT	YEAR OF INSTALLATION: ?
[T]	TURBINE VENT	ROOF SIZE: 2,294 SQ. FT
[F]	EXHAUST FAN/VENT	CANOPY: 213 SQ. FT
[D]	DORMER VENT	
[V]	T-TOP VENT/VENT	
[SC]	SCUPPER	

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16238 TEMPLE AVENUE

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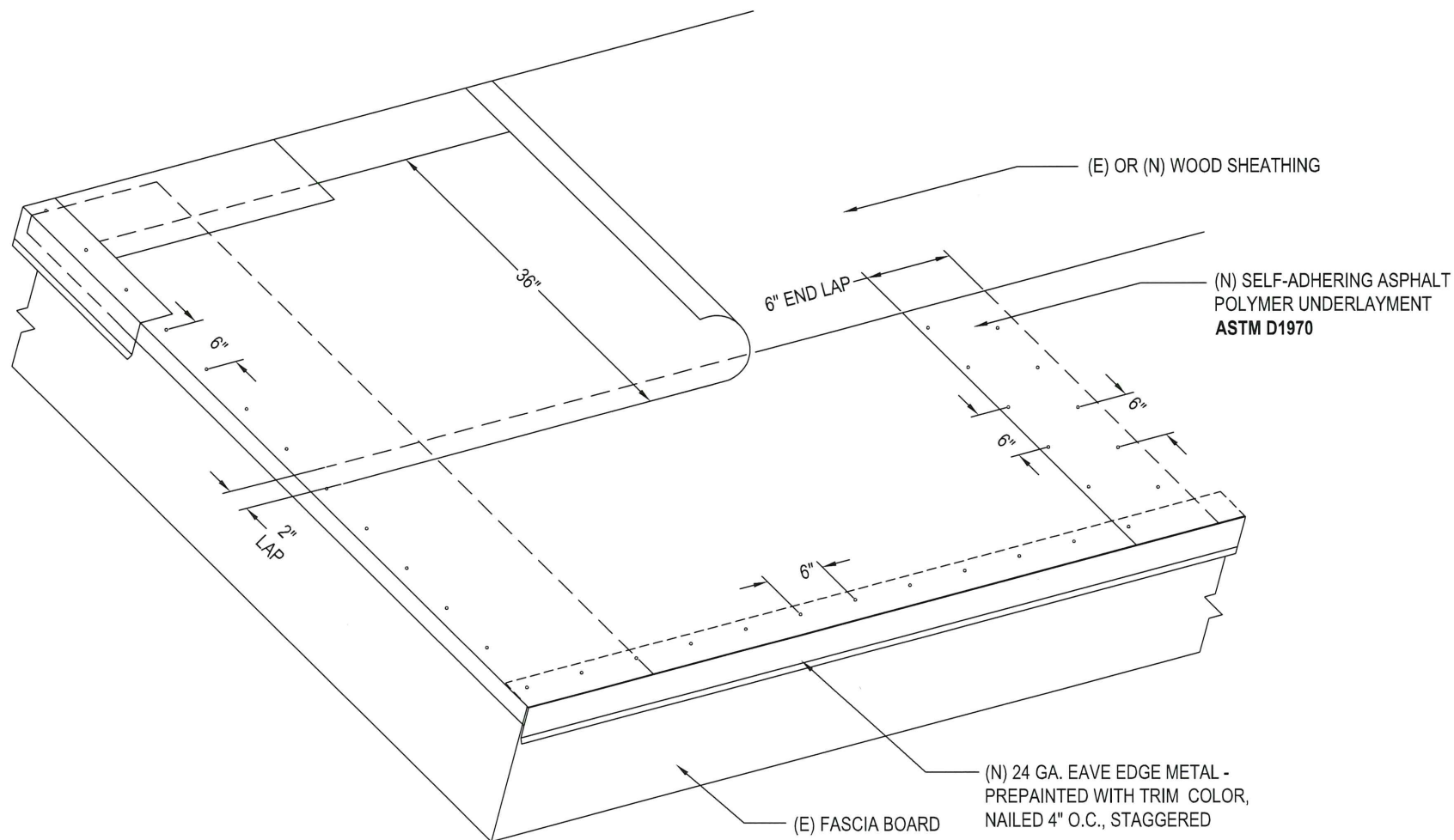
DWG.NO 10551BW17

LAST REV: 01/28/22

DB: KL RB: BN

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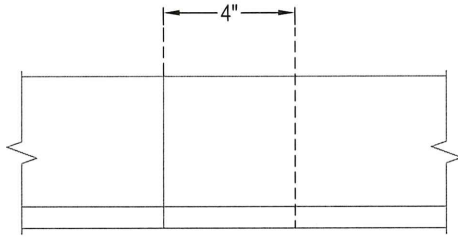


PROJECT NAME:
**2022 ROOF
REPLACEMENTS**
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

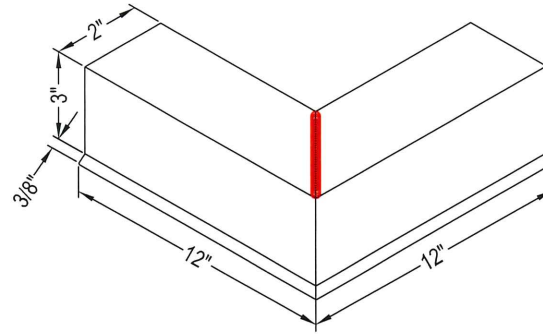
DETAIL DESCRIPTION:
**UNDERLAYMENT &
FASTENING**

IRC PROJECT NO:	00000.00
DATE:	01/26/22
DRAWN BY:	BN
CHECKED BY:	GE
CAD DRAWING NO:	6916UL01
SCALE:	NOT TO SCALE

1AS



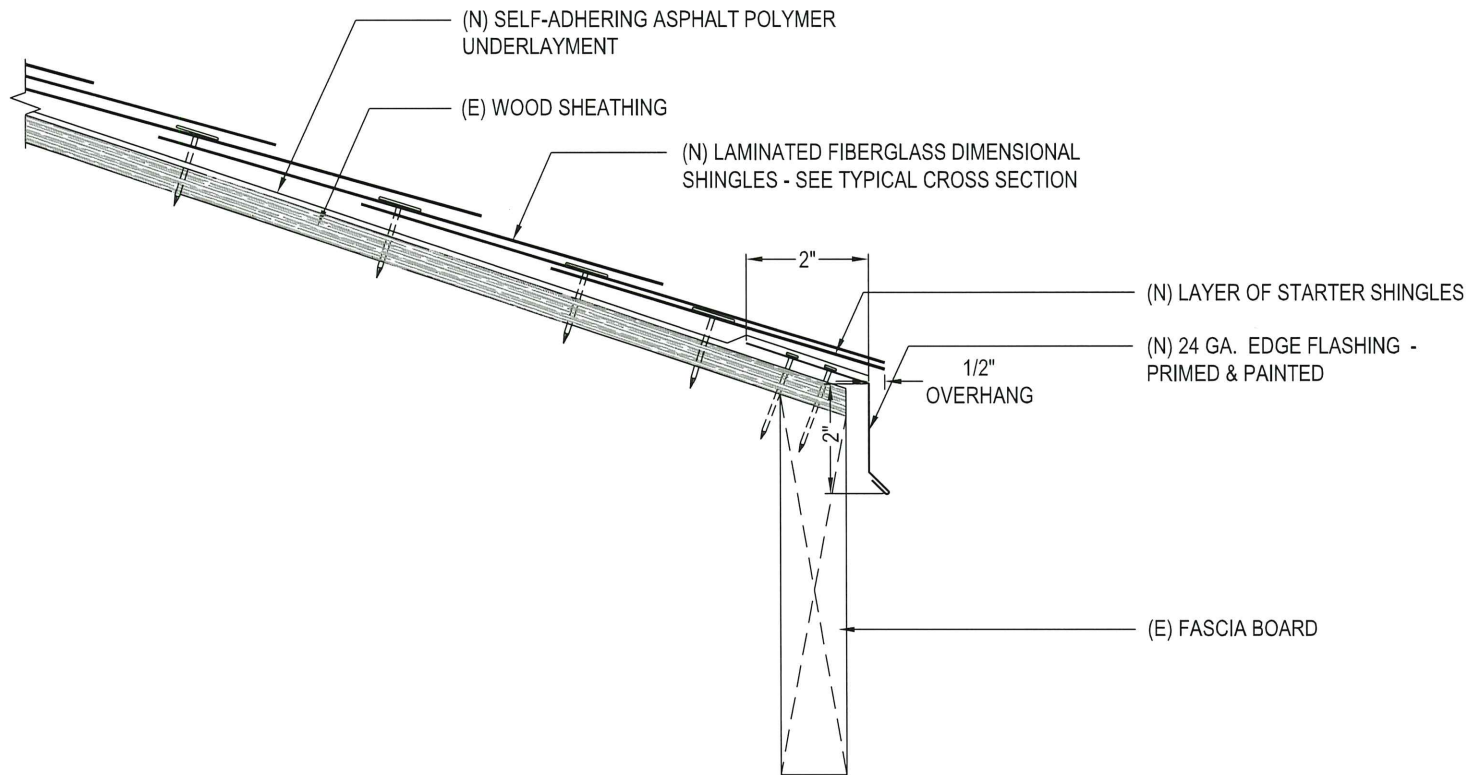
4" LAP @ FIELD
6" LAP @ CORNERS



CORNER FLASHING
 (SEALED W/URETHANE EXCLUDING
 EAVE TO RAKE TRANSITIONS)

NOTES:

1. **EDGE FLASHING ARE TO BE PAINTED PRIOR TO INSTALLATION. COLOR TO BE APPROVED THROUGH THE SUBMITTAL PROCESS AND SHALL CORRESPOND WITH THE CHOSEN SHINGLE COLOR.**
2. **CONTRACTOR FIELD VERIFY ALL DIMENSIONS.**



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PROJECT NAME:
**2022 ROOF
 REPLACEMENTS
 MULTIPLE BUILDINGS**
 CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

EDGE FLASHING DETAIL

IRC PROJECT NO: 00000.00
 DATE: 01/26/22
 DRAWN BY: BN
 CHECKED BY: GE
 CAD DRAWING NO: 6916EF01
 SCALE: NOT TO SCALE

2AS

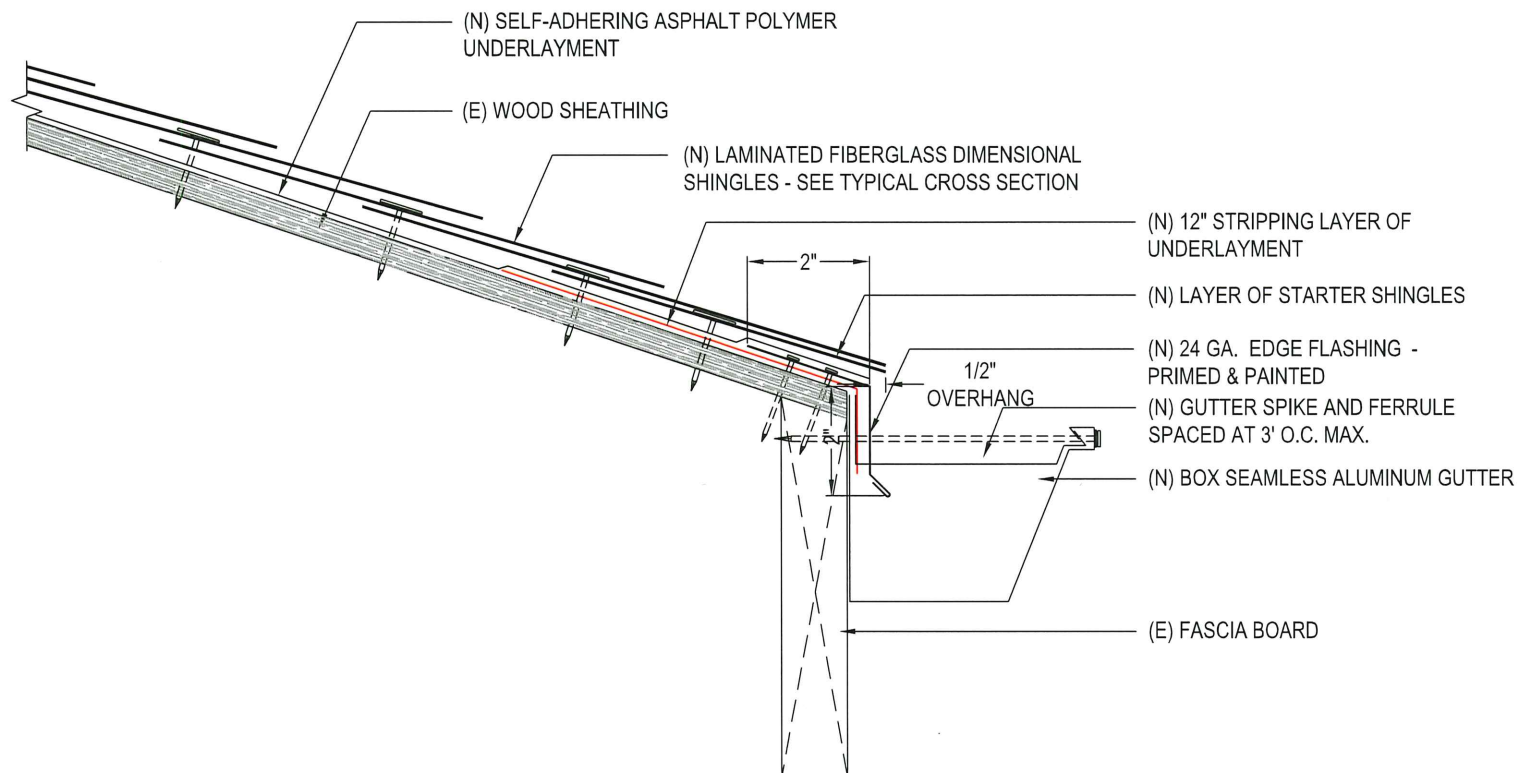
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NOTES:

1. EDGE FLASHING ARE TO BE PAINTED PRIOR TO INSTALLATION. COLOR TO BE APPROVED THROUGH THE SUBMITTAL PROCESS AND SHALL CORRESPOND WITH THE CHOSEN SHINGLE COLOR.
2. CONTRACTOR FIELD VERIFY ALL DIMENSIONS.



PROJECT NAME:
**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS**
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

EDGE FLASHING DETAIL W/GUTTER

IRC PROJECT NO: 00000.00

DATE: 01/26/22

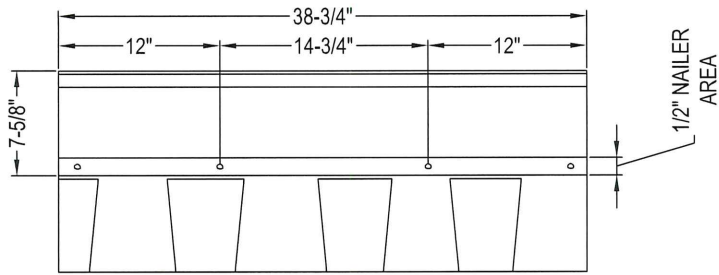
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CHECKED BY: GE

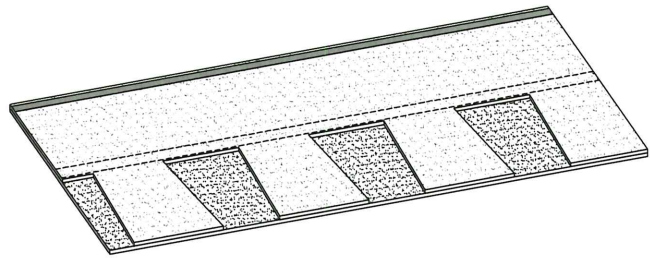
CAD DRAWING NO: 6916EF02

SCALE: NOT TO SCALE

3AS



SHINGLE NAILING PATTERN



SHINGLE LAYOUT : (BASED ON CERTAINTEED'S LANDMARK SERIES SHINGLES)

- 1st COURSE = 38-3/4" LONG (FULL SHINGLE) AT THE LOWER LEFT CORNER OF THE ROOF.
- 2nd COURSE = 33-1/8" LONG (CUT 5-5/8").
- 3rd COURSE = 27-1/2" LONG (CUT 11-1/4").
- 4th COURSE = APPLY THE PREVIOUSLY REMOVED 11-1/4" LONG PIECE OVER AND ABOVE THE THIRD-COURSE SHINGLE.
- 5th COURSE = APPLY THE PREVIOUSLY REMOVED 5-5/8" LONG PIECE FROM THE SECOND COURSE OVER AND ABOVE THE FOURTH-COURSE SHINGLE.

NOTES:

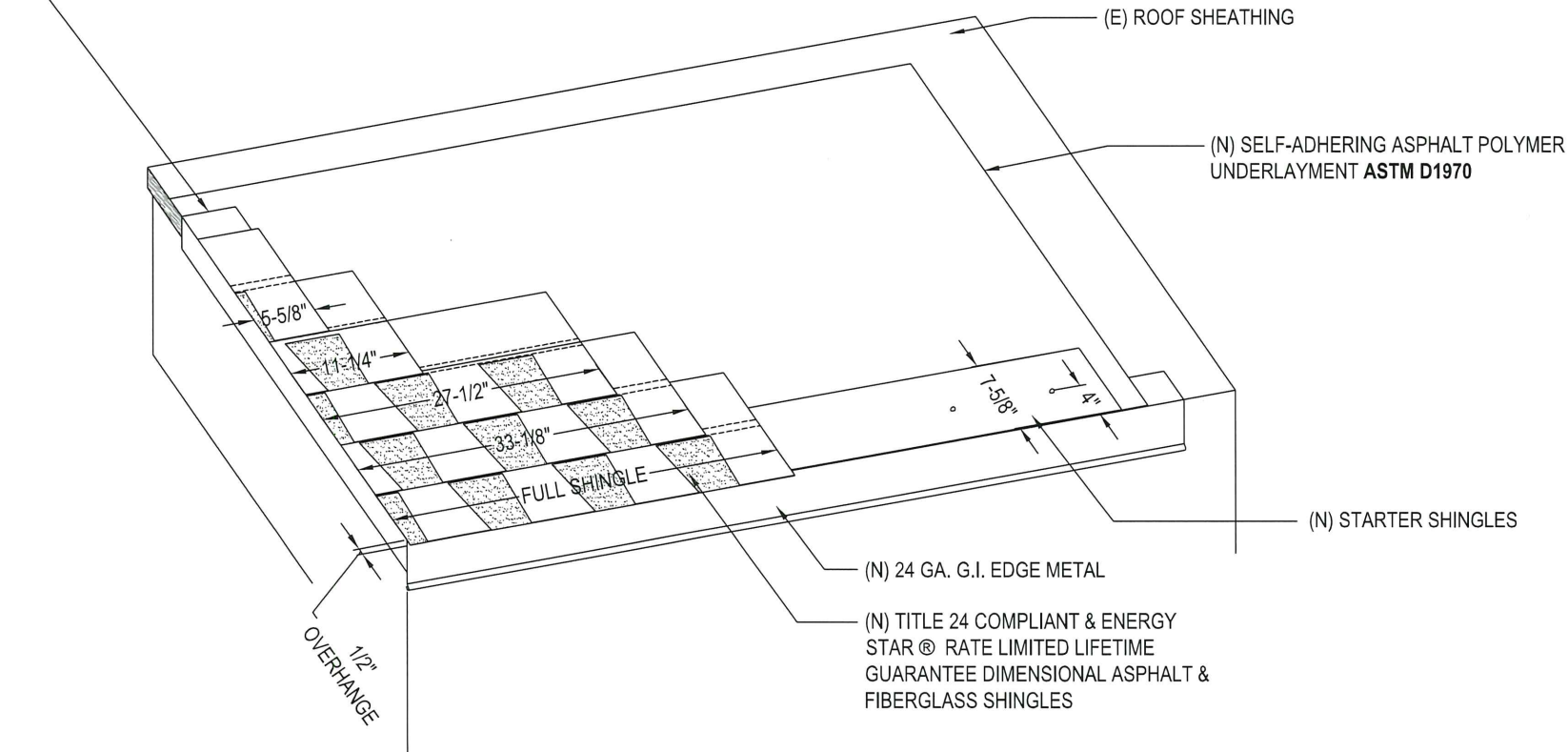
1. SUCCEEDING COURSES: CONTINUE APPLYING SHINGLES FILLING INTO THE RIGHT OF THE FIRST COURSE AND CUT ONLY OFF THE LEFT SIDE OF THE SHINGLES. BEGINNING AGAIN WITH A FULL SHINGLE, REPEAT THE FIVE-COURSE PATTERN UP THE LEFT RAKE.
2. UNDERLAYMENT TO BE SPECIFICALLY APPROVED FOR SLOPES BETWEEN 2" & 4" IN 12".
3. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

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(N) 24 GA. G.I. RAKE EDGE METAL OVER FELT & STARTER (SEE RAKE EDGE DETAIL)



PROJECT NAME:
2022 ROOF REPLACEMENTS
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

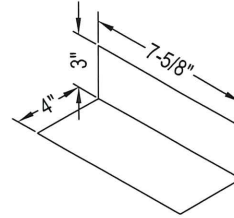
DETAIL DESCRIPTION:
ASPHALT SHINGLE SYSTEM LAYOUT PATTERN

IRC PROJECT NO: 00000.00
DATE: 01/26/22
DRAWN BY: BN
CHECKED BY: GE
CAD DRAWING NO: 6916TS01
SCALE: NOT TO SCALE

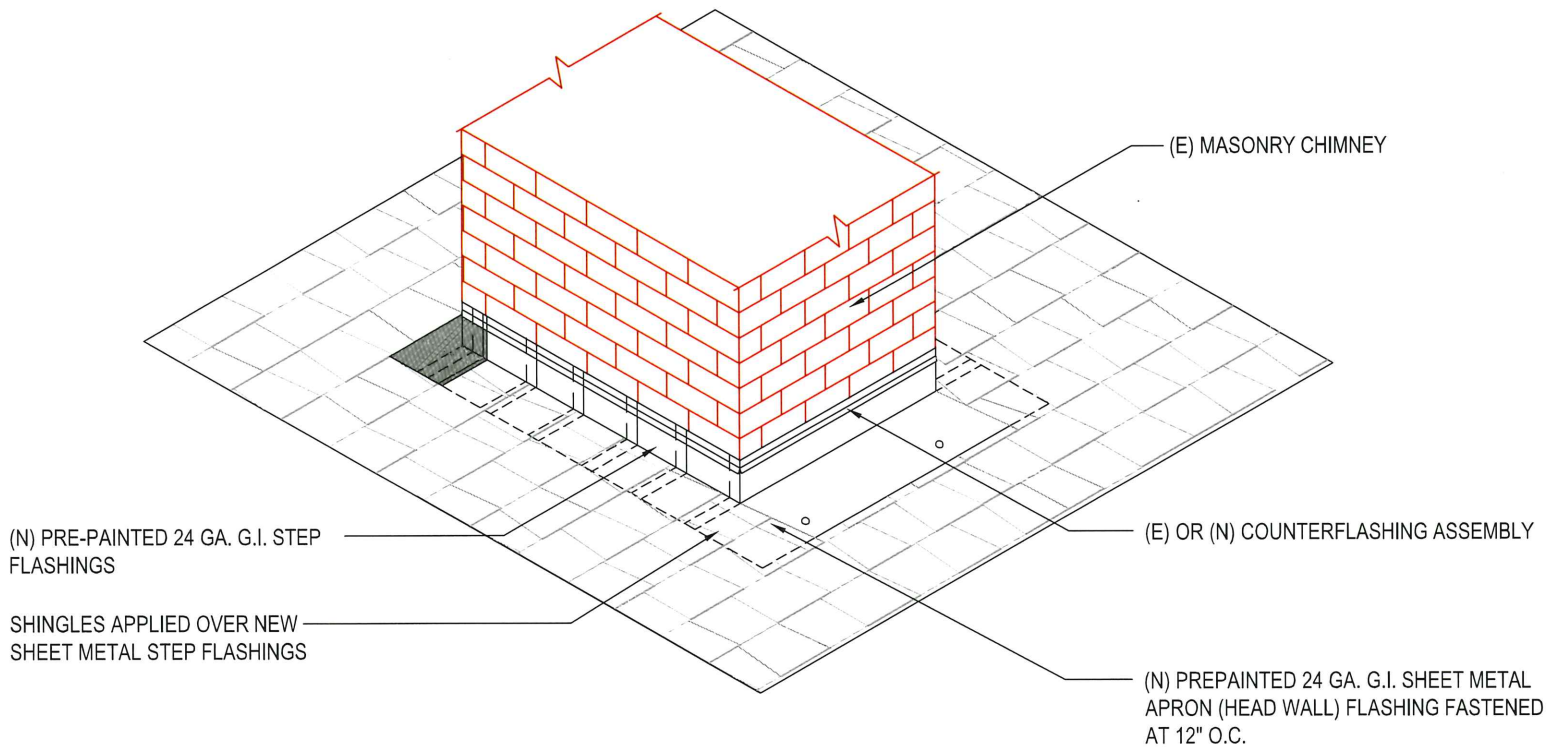
4AS

NOTES:

1. ALL FLASHINGS SEAMS ARE TO BE WRAPPED & FULLY SOLDERED.
2. FLASHING SURFACES ARE TO BE PAINTED BEFORE INSTALLATION.
3. VERTICAL FLANGES OF ALL SHEET METAL FLASHINGS ARE TO BE SEALED ALONG THE TOP BACK EDGE WITH A CONTINUOUS BEAD OF URETHANE SEALANT.



**(N) PRE-PAINTED 24 GA.
G.I. STEP FLASHING**



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PROJECT NAME:
**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS**
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:
**STEP FLASHINGS @
WALL, CHIMNEY OR
CURB**

IRC PROJECT NO: 00000.00
DATE: 01/26/22
DRAWN BY: BN
CHECKED BY: GE
CAD DRAWING NO: 6916CF01
SCALE: NOT TO SCALE

5AS

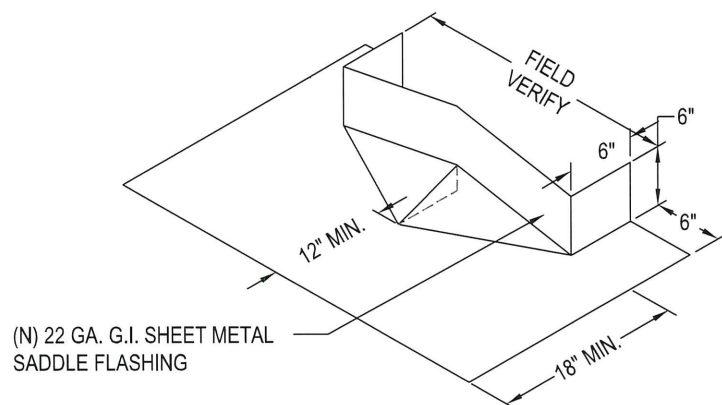
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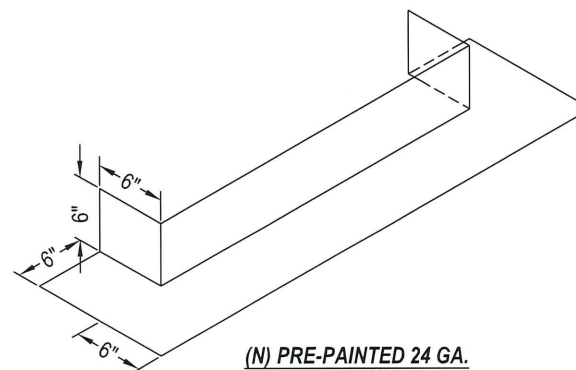
WWW.IRCTECH.COM

NOTES:

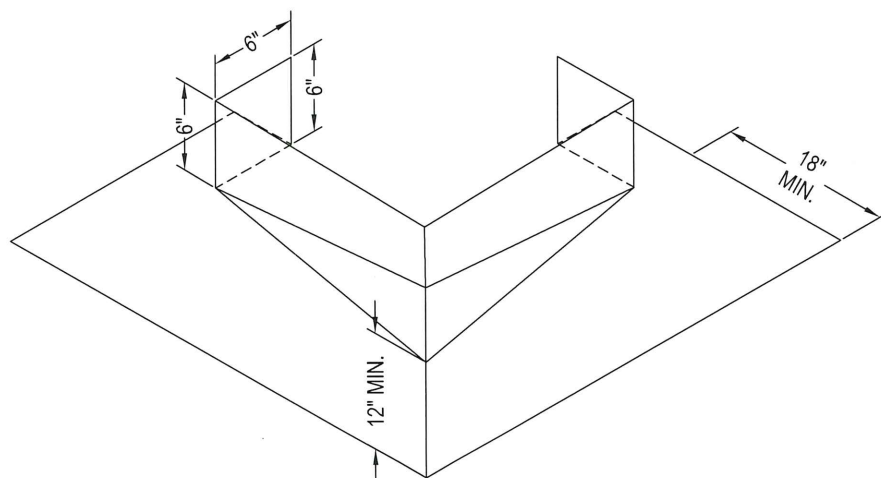
1. FLASHING TO BE CONSTRUCTED WITH MINIMUM 6" WIDE FULLY WRAPPED AND SOLDER CORNERS.
2. SADDLE FLASHINGS TO BE CONSTRUCTED WITH BUILT-IN CRICKETS.
3. EXPOSED FLANGE OF APRON FLASHING TO BE FLASHED AT 12" O.C. WITH FASTENERS SEALED WITH DAB OF URETHANE.



(N) 22 GA. G.I. SHEET METAL
SADDLE FLASHING



(N) PRE-PAINTED 24 GA.
G.I. S SHEET METAL
APRON (HEAD WALL)
FLASHING



(N) PRE-PAINTED 22 GA. SHEET
METAL MULTI-DIRECTIONAL SADDLE

PROJECT NAME:

**2022 ROOF
REPLACEMENTS**
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

**SADDLE & APRON
FLASHINGS**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

CAD DRAWING NO: 6916CF02

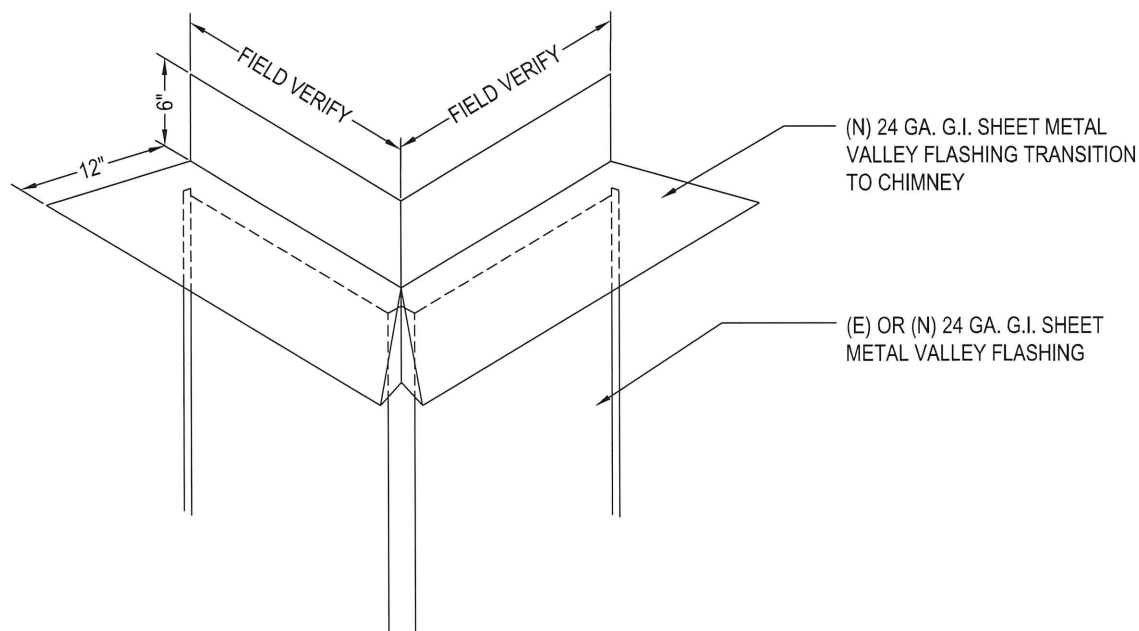
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6AS

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PROJECT NAME:

**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS**
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

**TRANSITION FLASHING
@ VALLEY FLASHING
TO CHIMNEY**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

CAD DRAWING NO: 6916VF01

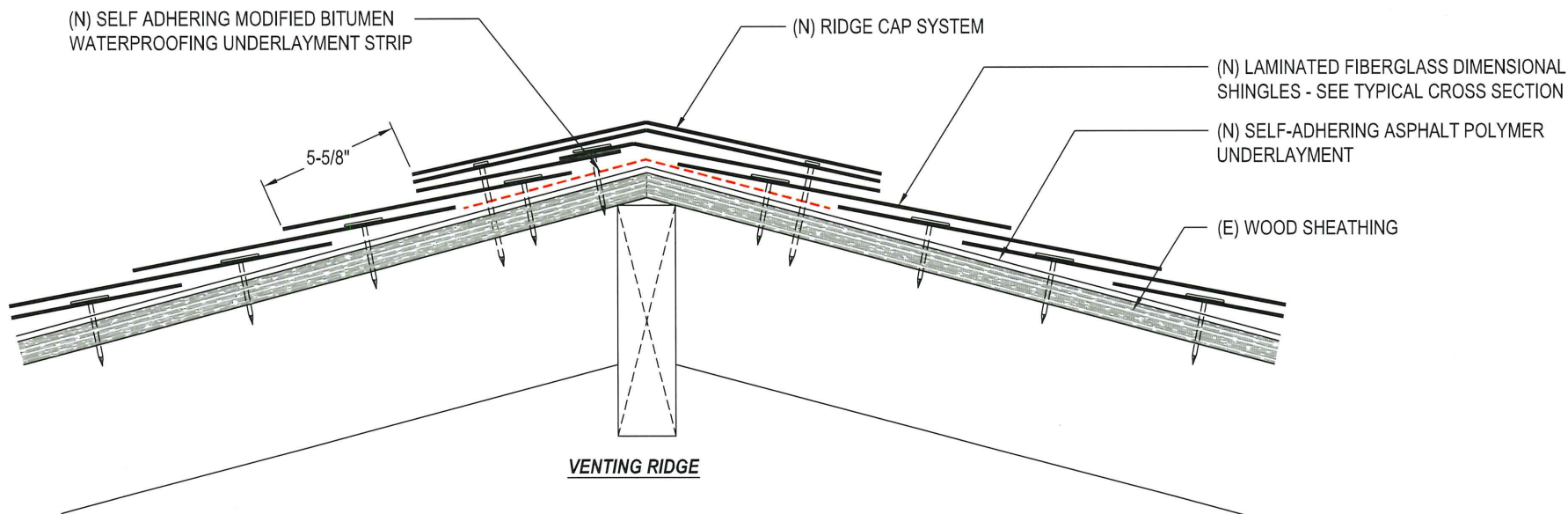
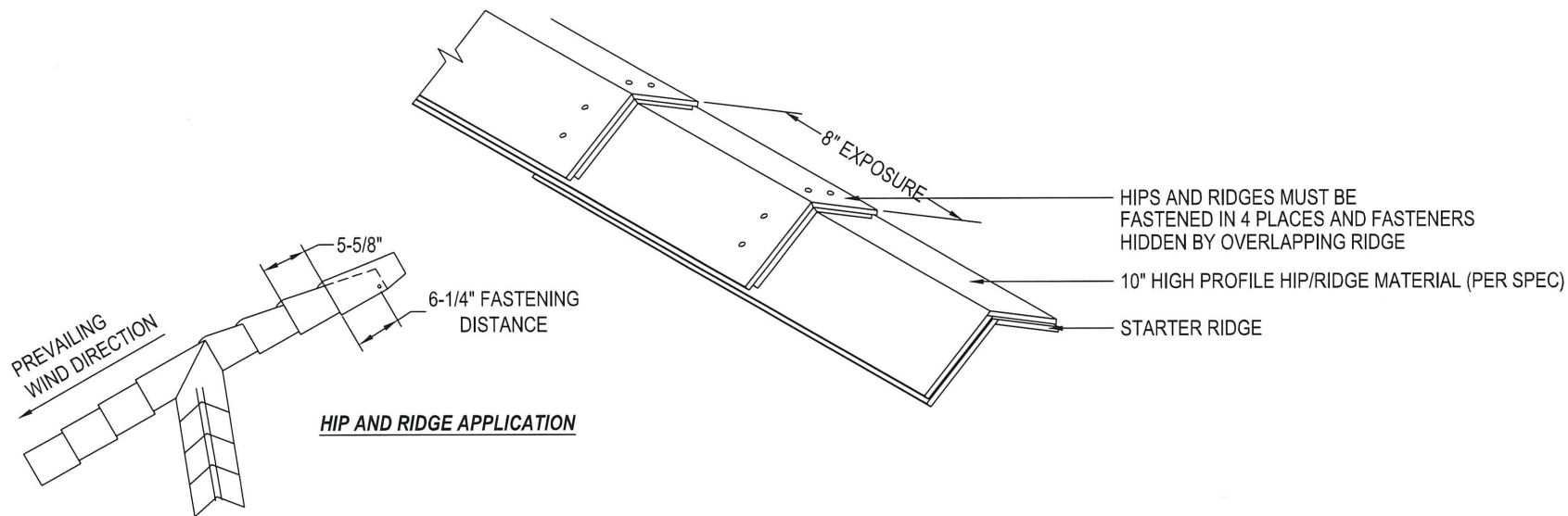
SCALE: NOT TO SCALE

7AS

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PROJECT NAME:
**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS**
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:
**VENTING RIDGE (NOT
REQUIRED @ HIP
LOCATIONS)**

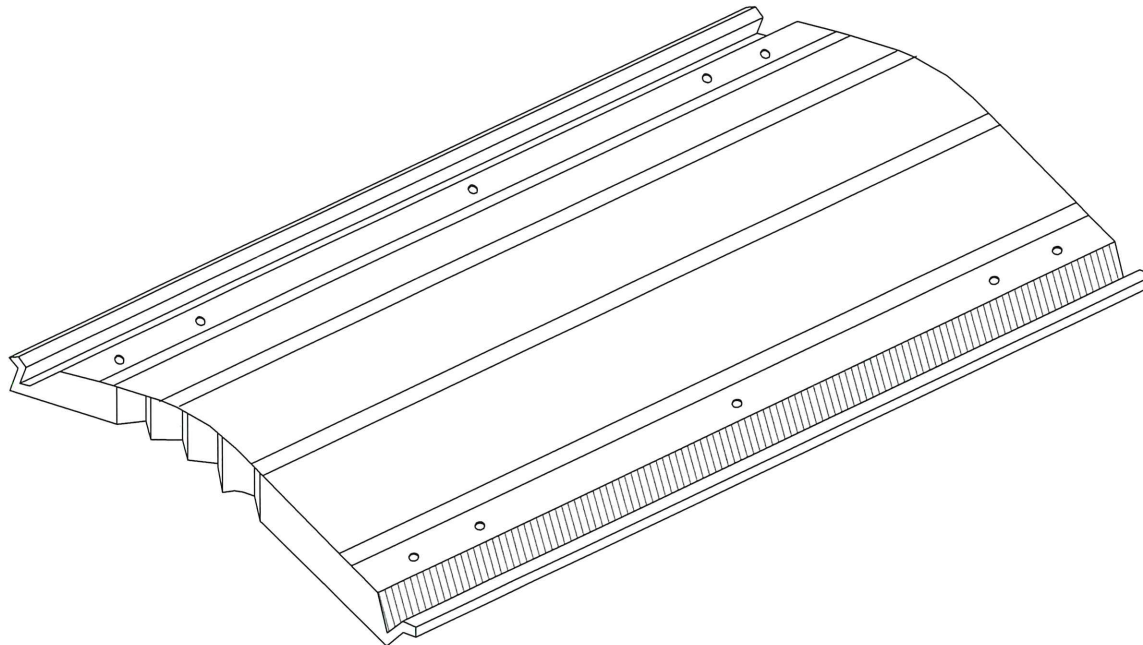
IRC PROJECT NO: 00000.00
DATE: 01/26/22
DRAWN BY: BN
CHECKED BY: GE
CAD DRAWING NO: 6916HR01
SCALE: NOT TO SCALE

8AS



NOTES:

1. RIDGE VENT SYSTEM TO BE PROVIDED BY PRIMARY SHINGLE MANUFACTURE.
2. VENTILATION OPENING AT RIDGE TO BE 3" WIDE AND CENTERED OVER RIDGE BOARD AND IS TO BE U.L. CLASS "A" FIRE RATED.
3. VENTILATION OPENING ALONG RIDGE TO STOP 2" BEFORE EXPOSED SOFFIT AREAS, WALLS OR CHIMNEYS.



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PROJECT NAME:

**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS**
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

**VENTING RIDGE CAP
SYSTEM**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

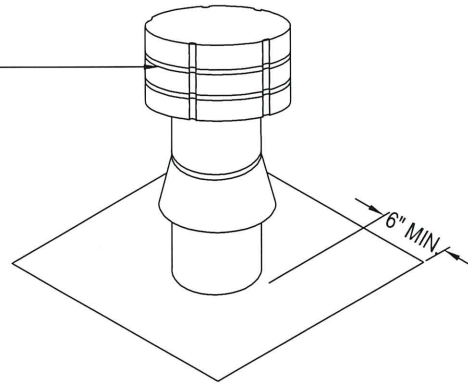
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CAD DRAWING NO: 6916HR02

SCALE: NOT TO SCALE

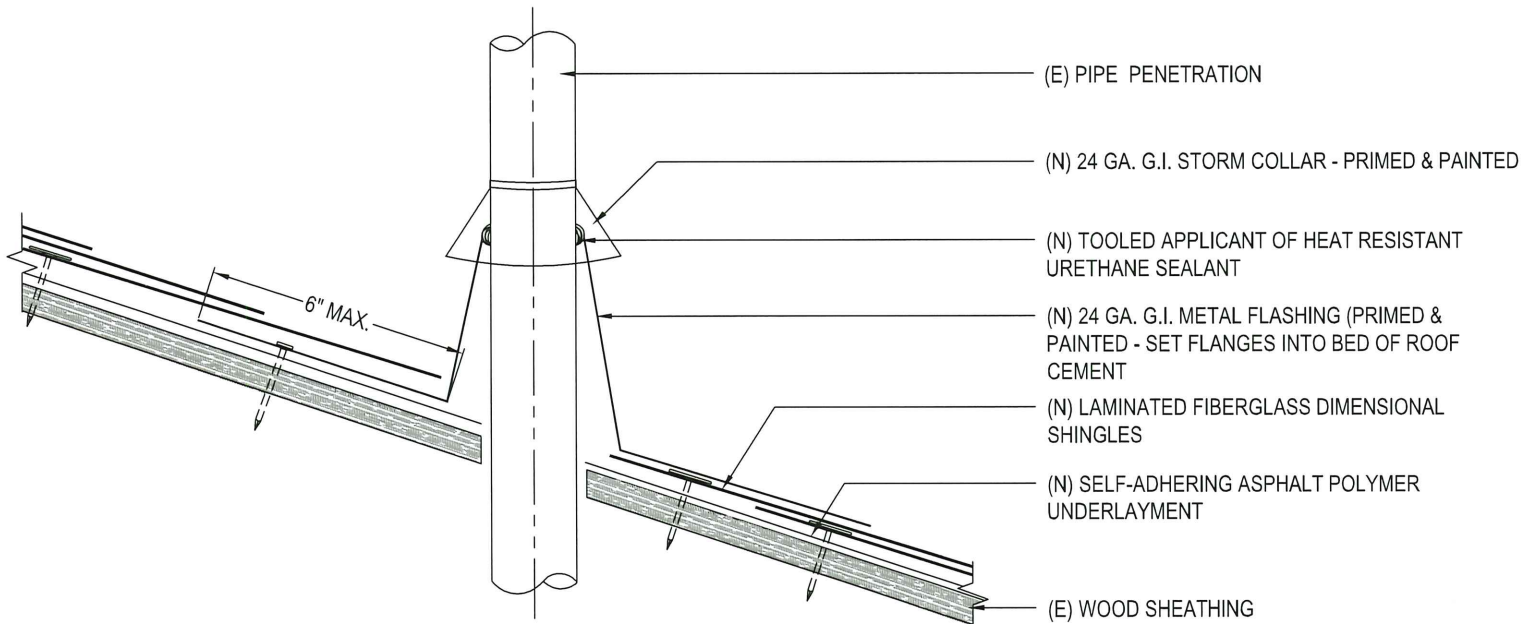
9AS

(N) CORROSION RESISTANCE SHEET
METAL CAP FLASHING



NOTES:

1. NO PUNCTURES IN FRONT OR SIDES OF FLASHING.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.



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PROJECT NAME:
**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS**
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:
**HEATER STACK
PENETRATION
FLASHING DETAIL**

IRC PROJECT NO:	00000.00
DATE:	01/26/22
DRAWN BY:	BN
CHECKED BY:	GE
CAD DRAWING NO:	6916HV01
SCALE:	NOT TO SCALE

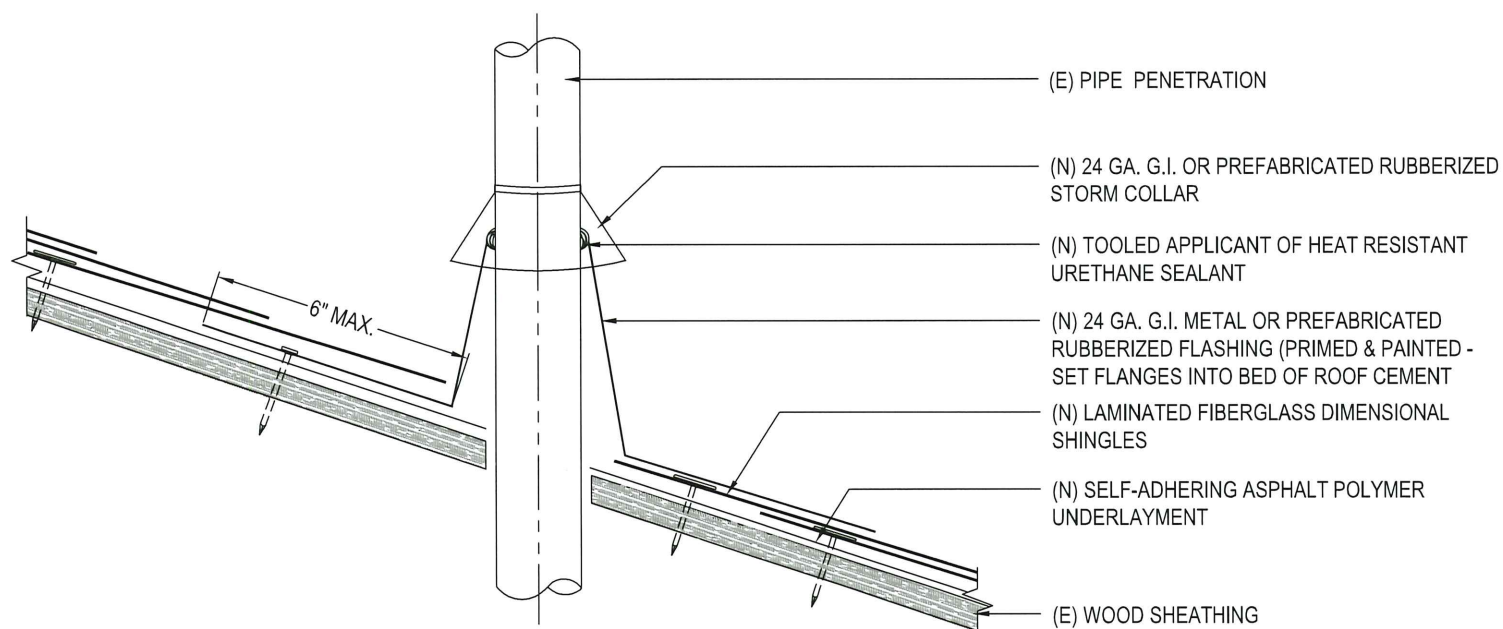
10AS

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NOTES:

1. NO PUNCTURES IN FRONT OR SIDES OF FLASHING.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
3. THE BASE OF PENETRATIONS (EXCLUDING HEATER STACKS) IS TO BE SEALED WITH ELASTIC CEMENT PRIOR TO INSTALLATION OF FLASHING.



PROJECT NAME:
**2022 ROOF
REPLACEMENTS**
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:
**ROOF JACK @
OPEN-ENDED
PENTETRATION**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

CAD DRAWING NO: 6916PF01

SCALE: NOT TO SCALE

11AS

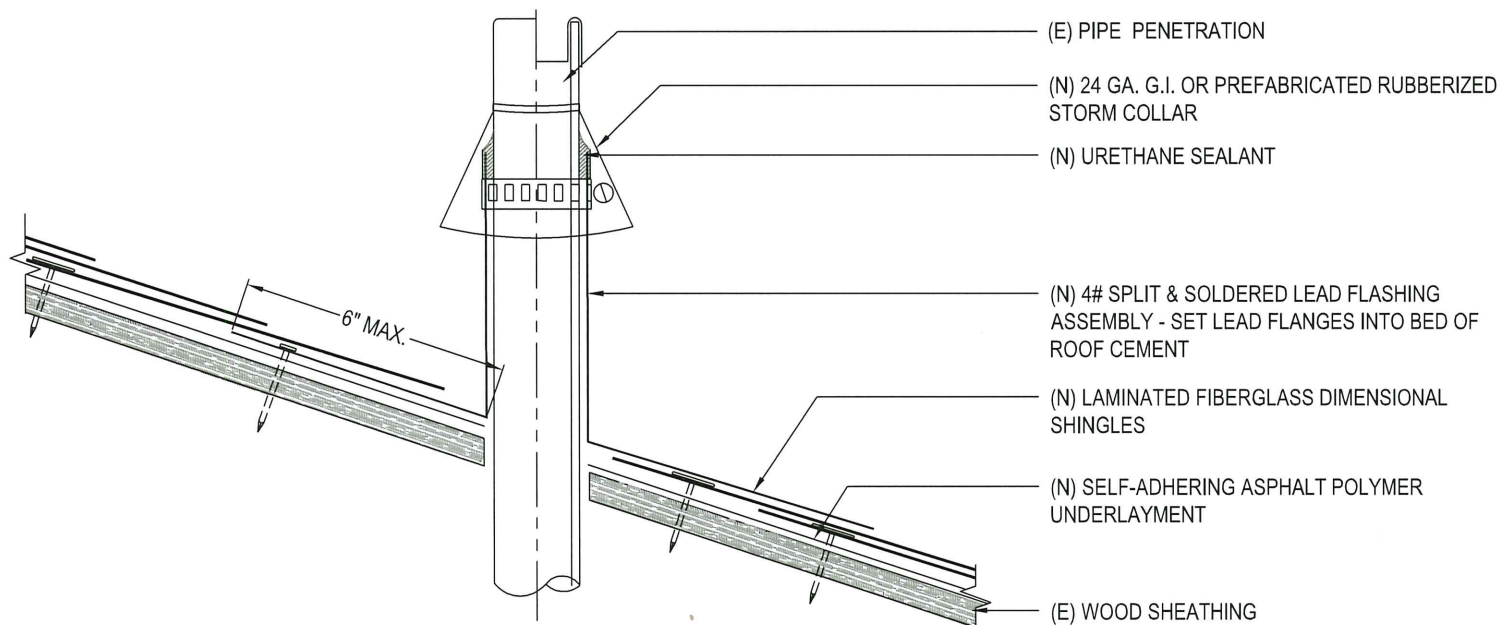
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NOTES:

1. NO PUNCTURES IN FRONT OR SIDES OF FLASHING.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
3. THE BASE OF PENETRATIONS (EXCLUDING HEATER STACKS) IS TO BE SEALED WITH ELASTIC CEMENT PRIOR TO INSTALLATION OF FLASHING.



PROJECT NAME:

**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS**
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

**ROOF JACK @
CLOSED-ENDED
PENTETRATION**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

CAD DRAWING NO: 6916PF02

SCALE: NOT TO SCALE

12AS

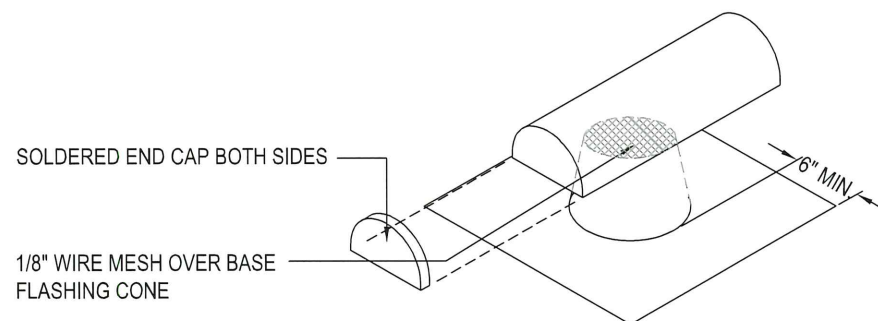
Independent Roofing Consultants

2901 PULLMAN ST.
SANTA ANA, CA 92705
(949) 476-8626
(949) 476-9810 FAX
(800) 666-7663

WWW.IRCTECH.COM

NOTES:

1. NO PUNCTURES IN FRONT OR SIDES OF FLASHING.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
3. THE BASE OF PENETRATIONS (EXCLUDING HEATER STACKS) IS TO BE SEALED WITH ELASTIC CEMENT PRIOR TO INSTALLATION OF FLASHING.



PROJECT NAME:

**2022 ROOF
REPLACEMENTS**
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

**T-TOP VENT FLASHING
PENETRATION**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

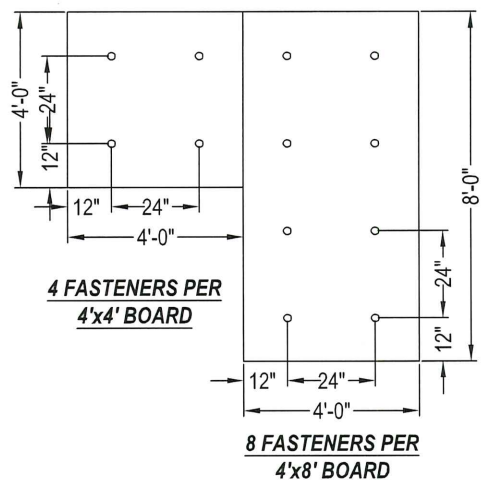
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SCALE: NOT TO SCALE

13AS

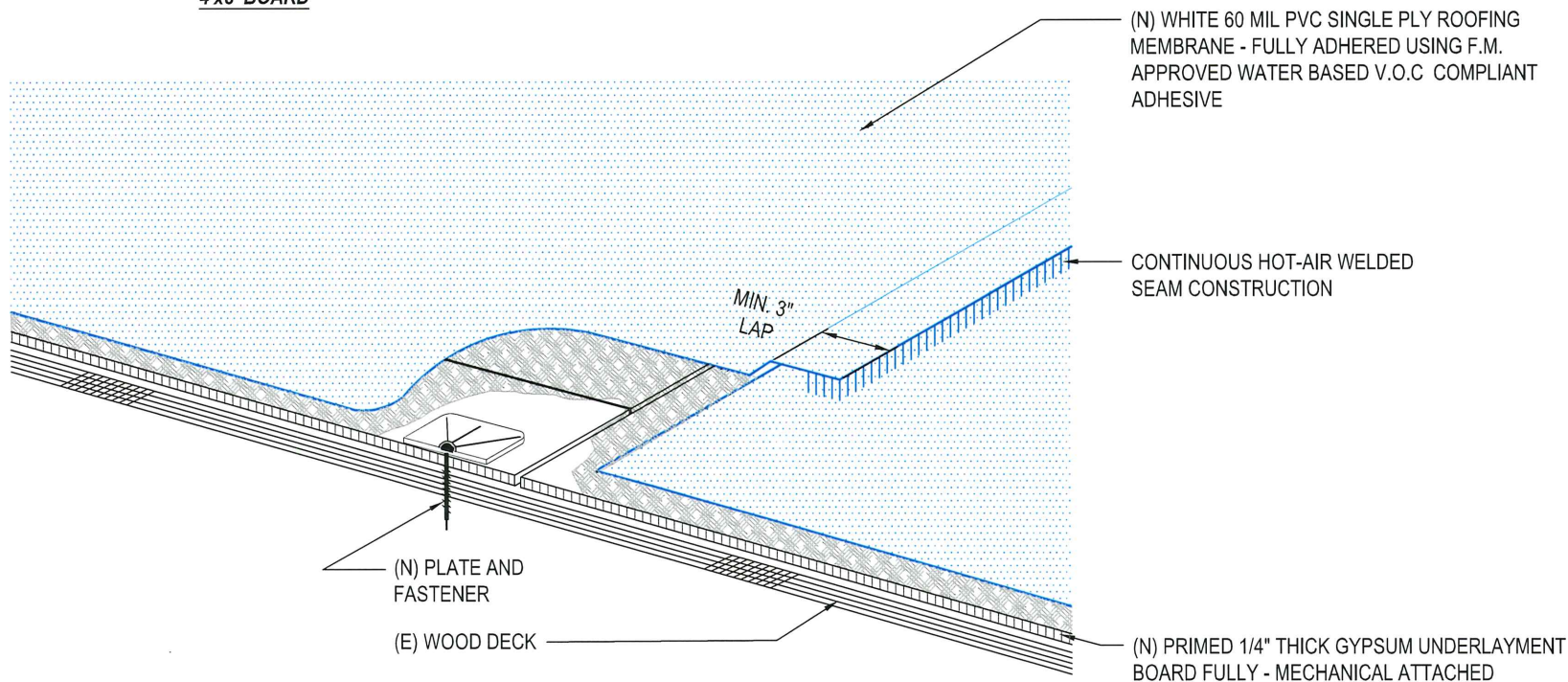
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NOTES:

1. THE NEW PVC SINGLE PLY SYSTEM IS TO BE U.L. CLASS "A" FIRE-RATED AND TITLE 24 COMPLIANT.
2. FASTENER FOR THE GYPSUM UNDERLAYMENT BOARD ARE TO EXTEND INTO WOODEN BEAMS SUPPORTS. NO SHINGLES WILL BE PERMITTED AT THE WOODEN SIDE OF SUBSTRATE.
3. STAGGER END BOARD JOINTS MINIMUM 12"



PROJECT NAME:
**2022 ROOF
REPLACEMENTS**
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

TYPICAL SINGLE PLY ROOF CROSS SECTION

IRC PROJECT NO: 00000.00

DATE: 01/26/22

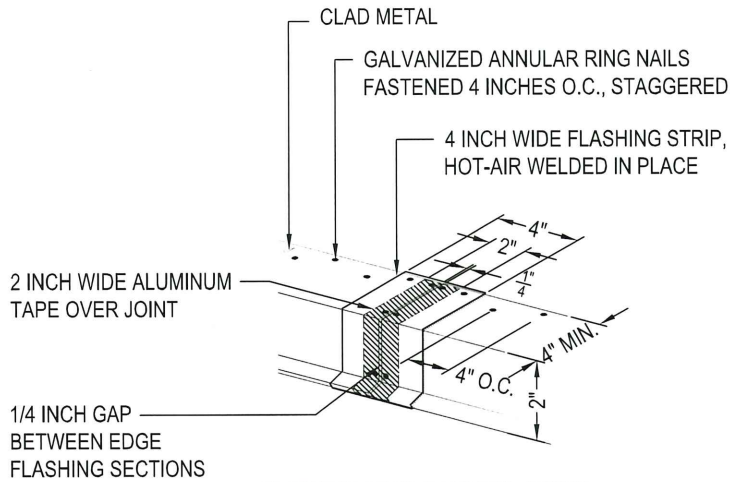
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CHECKED BY: GE

CAD DRAWING NO: 6916TS02

SCALE: NOT TO SCALE

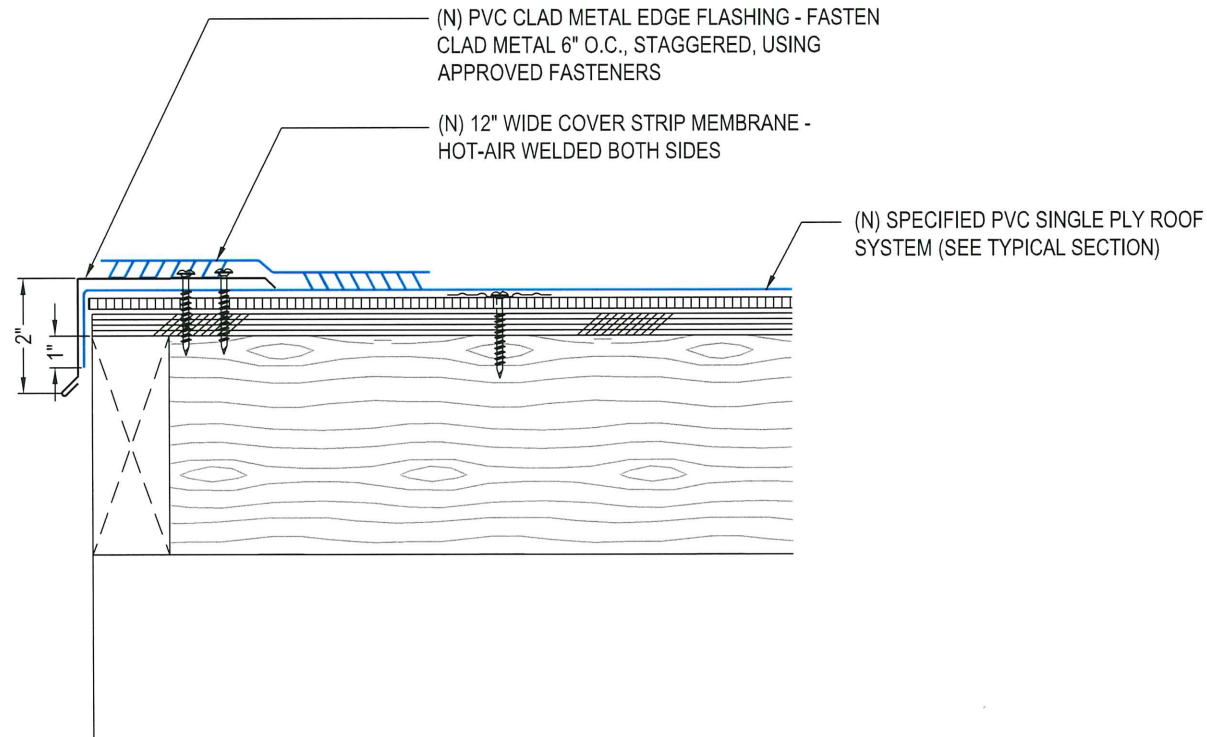
1SP



FLASHING AT CLAD METAL JOINTS

NOTES:

1. THE NEW PVC SINGLE PLY SYSTEM IS TO BE U.L. CLASS "A" FIRE-RATED AND TITLE 24 COMPLIANT.
2. FASTENER FOR THE GYPSUM UNDERLAYMENT BOARD ARE TO EXTEND INTO WOODEN BEAMS SUPPORTS. NO SHINGLES WILL BE PERMITTED AT THE WOODEN SIDE OF SUBSTRATE.



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PROJECT NAME:

**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744**

DETAIL DESCRIPTION:

CLAD METAL EDGE FLASHING

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

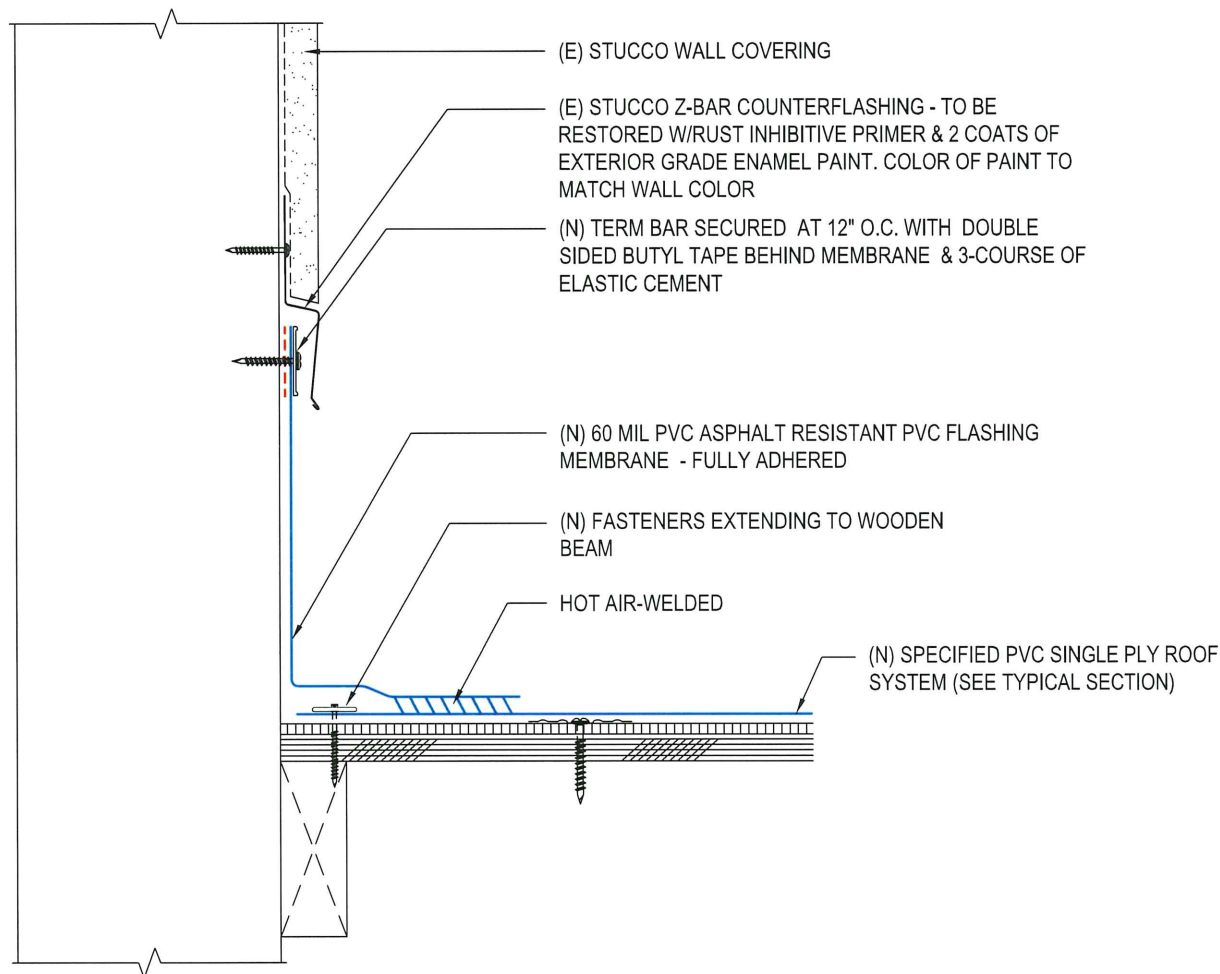
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SCALE: NOT TO SCALE

2SP

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PROJECT NAME:
**2022 ROOF
REPLACEMENTS**
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:
**BASE FLASHING @ (E)
STUCCO STOP
COUNTERFLASHING**

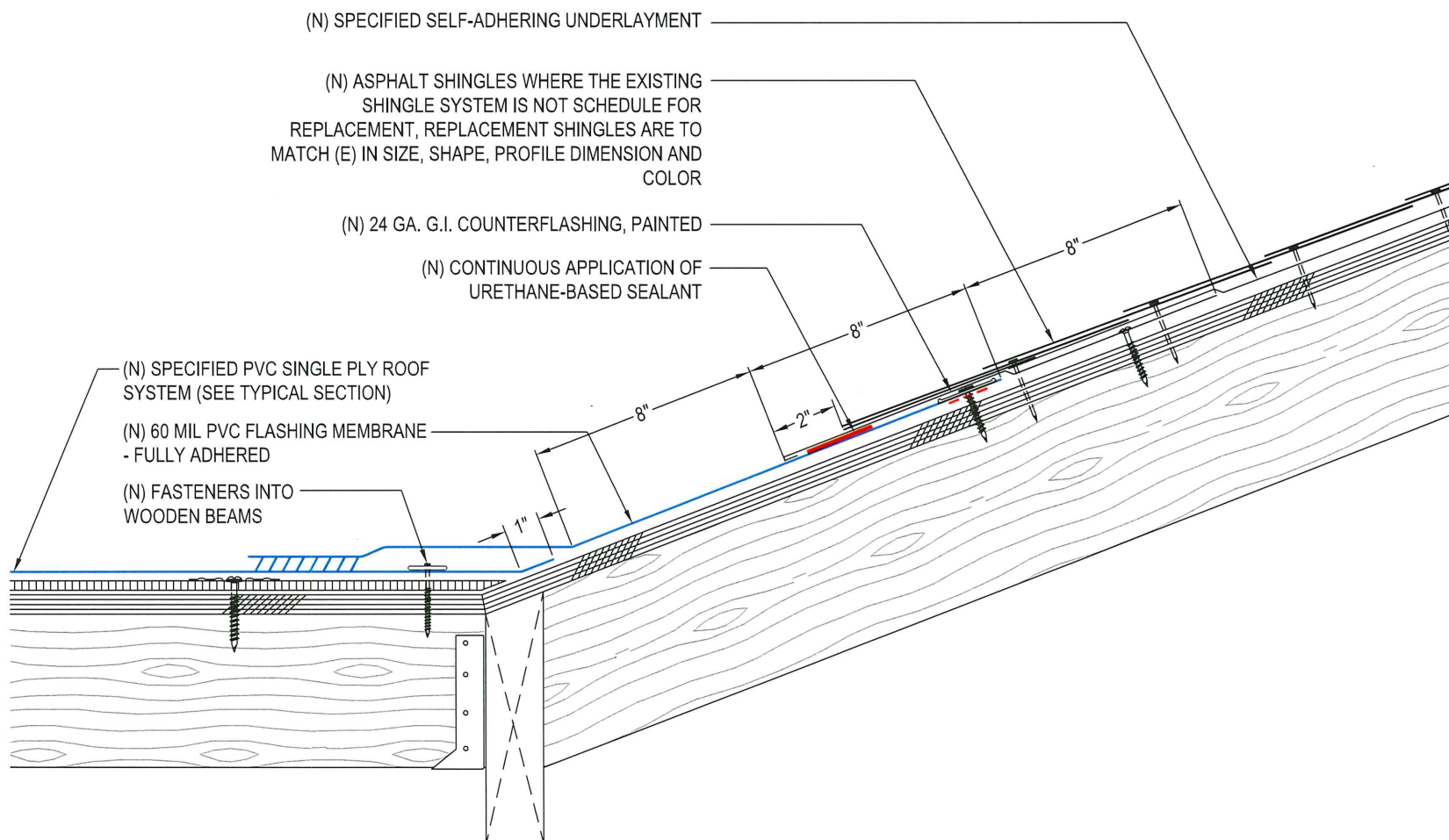
IRC PROJECT NO: 00000.00
DATE: 01/26/22
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SCALE: NOT TO SCALE

3SP

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**NOTE: COMPLETELY SEPARATE (N) UNDERLAYMENT FROM
(N) PVC ROOFING MATERIALS WITH SHEET METAL
COUNTERFLASHING.**



PROJECT NAME:
**2022 ROOF
REPLACEMENTS**
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744

DETAIL DESCRIPTION:

**LOW-TO-STEEP SLOPE
TRANSITION**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

CAD DRAWING NO: 6916TI01

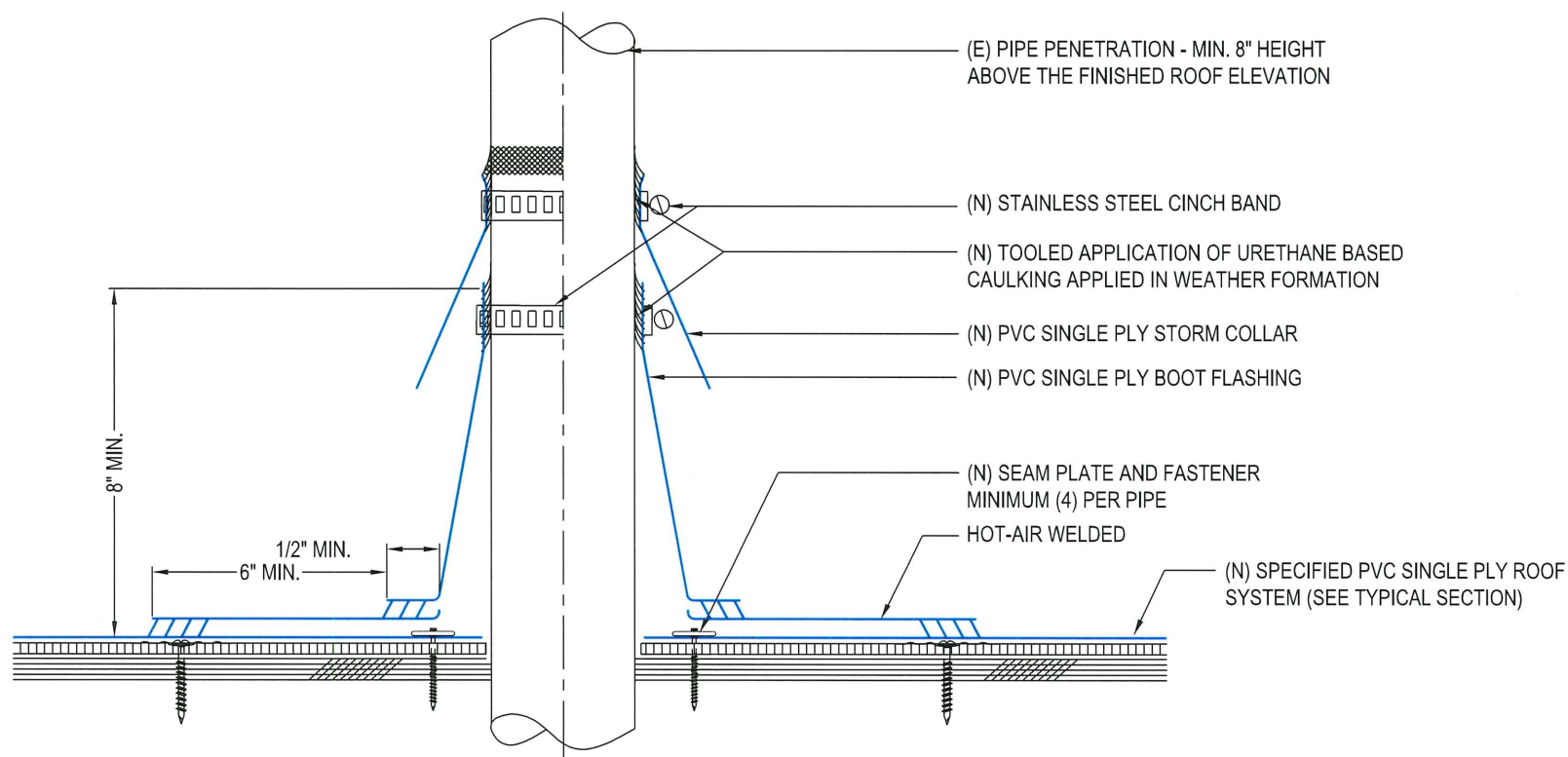
SCALE: NOT TO SCALE

4SP

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PROJECT NAME:
**2022 ROOF
REPLACEMENTS
MULTIPLE BUILDINGS
CITY OF INDUSTRY, CA 91744**

DETAIL DESCRIPTION:
**CONE
(PRE-FABRICATED)
PIPE PENETRATION**

IRC PROJECT NO: 00000.00

DATE: 01/26/22

DRAWN BY: BN

CHECKED BY: GE

CAD DRAWING NO: 6916CL01

SCALE: NOT TO SCALE

5SP